



**City of Apopka
Planning Commission
Meeting Agenda
June 26, 2018**

5:30 PM @ City Council Chambers

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission regular meeting held June 12, 2018.

IV. PUBLIC HEARING:

1. CHANGE OF ZONING – MASTER PLAN – LEGACY HILLS – From R-1AA (Residential Single Family District) to PUD (Planned Unit Development); and the Master Plan for the property owned by JEL Land Development LLC, and located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. (Parcel ID # 06-21-28-7172-19-030)
2. SPECIAL EXCEPTION – RENEWAL CHURCH – Pursuant to the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.19(C)(2), to allow a place of worship within a property assigned an Agricultural Estates zoning Category for the property owned by Donald J. Sabiston and located at 2335 Appy Lane. (Parcel ID # 18-20-28-0000-00-112)

V. SITE PLANS:

1. PRELIMINARY DEVELOPMENT PLAN – BRIDLEWOOD SUBDIVISION (FKA Equestrian Center Subdivision) – Property owned by Laura R. Murphy and located at 359 West Lester Road. (Parcel ID # 28-20-28-0000-00-060)
2. FINAL DEVELOPMENT PLAN – DOLLAR GENERAL STORE – Property owned by Lloyd Lee, Mobley Mattie Life Estate and Nathan Jerome Shaw, Sr. and located at 51 and 57 East Michael Gladded Boulevard and West 9th Street. (PARCEL ID #s: 09-21-28-0196-80-520; 09-21-28-0196-80-512; 09-21-28-0196-80-514)
3. MASTER/PRELIMINARY DEVELOPMENT PLAN – GREYSTONE SKILLED NURSING FACILITY – Property owned by Residences at Emerson Park, LLC, and located at 1601 Alston Bay Boulevard. (Parcel ID # 20-21-28-2522-00-007)

- 4. FINAL DEVELOPMENT PLAN – LAKE GEM COMMERCE PARK, LOT 10 – Property owned by Property Industrial Enterprises, LLC, c/o Michael R. Cooper and located at 511 and 611 Marshall Lake Road.

- 5. PLAT – LAKESIDE, PHASE 1 – Property owned by Avatar Properties, Inc. and James D. & Deborah Lyda located south of Marshall Lake and west of SR 451. (Parcel ID#s 08-21-28-0000-00-005, 08-21-28-0000-00-043)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 12, 2018, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle

ABSENT: Jose Molina, Butch Stanley, Orange County Public Schools (Non-voting)

STAFF PRESENT: David Moon, AICP - Planning Manager, Richard Earp – City Engineer, Patrick Brackins – City Attorney, Bobby Howell - Senior Planner, Jean Sanchez – Planner II, Phil Martinez – Planner I, and Jeanne Green – Recording Secretary.

OTHERS PRESENT: Luke Classon, Eric Wells, Jim Hanson, Julie Kendig, Adam Dyson, Sarah Maier, Mark Nelson, Derek Ryan, Eric Jay, Tracy Jay, Tom Sullivan, Dave Hoffman, Dave Stokes, Bobby Wanas, Linda Lanosa, Rodney Sapp, Valendy Purre, Fraser Gunter, Scott Banta, Bill Pigozzi, Scott Glass, Geoff Summit, and Teresa Sargeant.

OPENING AND INVOCATION: Chairperson Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of May 22, 2018, at 5:30 p.m.

Motion: **John Sprinkle made a motion to approve the Planning Commission minutes from the regular meeting held on May 22, 2018, at 5:30 p.m. and seconded by Roger Simpson. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0).**

QUASI-JUDICIAL – CHANGE OF ZONING – Chairperson Greene stated this is a request to request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Phil Martinez, Planner I, stated this is a request to request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road. The applicant is Dewberry c/o Sarah Maier. The existing use is vacant land, woodlands and grasslands. The development potential is 36 single family homes. The future land use is Residential Low Suburban (0-3.5 du/ac). The current zoning is R-1AA and the proposed zoning is R-1 (Single Family Residential District). The existing and proposed maximum allowable development is 20 single family homes. The tract size is 5.75 +/- acres.

Presently, the subject property is assigned a zoning category of R-1AA. The applicant is requesting the City to assign a zoning classification of R-1 (Single Family Residential) to the northern 5.75 acres of the property. Access will occur from public roads within Carriage Hills Phase 1. The subject parcel was annexed into the city on August 22, 1990 by Ordinance Number 624.

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A request to assign a change of zoning to R-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. Carriage Hill Phase 1, is the west adjacent property, also zoned R-1. The subject property is intended to incorporate into Carriage Hill Phase 1 with the same R-1 zoning.

The existing and proposed zoning of the property is consistent with the proposed Residential Low Suburban (0-3.5 du / ac) Future Land Use designation.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road.

Staff recommended the Planning Commission find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Sarah Maier, Dewberry, 800 North Magnolia Avenue, Orlando, stated she was representing the owner, supported the staff report, and was available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: John Sprinkle made a motion to request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road. Motion seconded by Linda Laurendeau. Aye votes were cast by Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – CHANGE OF ZONING – MASTER PLAN – KELLY PARK ROAD PUBLIX CENTER - Chairperson Greene stated this is a request to find the proposed zoning, overlay district and Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the rezoning of the subject parcels from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU) and assign the KPC Village Center and Interchange Overlay Districts, and approval of the Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report, exhibits, and City Council approval of a Development Agreement for the property owned by JD and Kathleen L. Horne Trust and located at 4966 Plymouth-Sorrento Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

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Staff Presentation: Bobby Howell, AICP, Senior Planner, stated this is a request to find the proposed zoning, overlay district and Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the rezoning of the subject parcels from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU) and assign the KPC Village Center and Interchange Overlay Districts, and approval of the Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report, exhibits, and City Council approval of a Development Agreement for the property owned by JD and Kathleen L. Horne Trust and located at 4966 Plymouth-Sorrento Road. The applicant is Brandon Partners, c/o Randy Holihan. The existing use is vacant land and the proposed use is a 68,231 square feet of commercial uses including a 46,031 square foot Publix supermarket. The land use is Mixed Use Interchange. The current zoning is “County” A-1 (ZIP) and the proposed zoning is (KPI-MU (Kelly Park Interchange Mixed-Use). The tract size is 18.13 +/- acres

The owner of the subject property is requesting a rezoning of 18.13 acres of property from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU), with an Interchange and Village Center character zone to develop a 68,231 square foot commercial development including a 46,031 Publix supermarket subject to the requirements of the Kelly Park Interchange Form Based Code. The subject property is located east of SR 429 and west of Plymouth-Sorrento Road, on the southwest side of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The owner of the property is JD and Kathleen L Horne Trust.

Development Profile:

Setbacks:	
Front:	Min. 8 feet – Max. 20 feet – Village Center, Min. 10 feet, Max. 20 feet - Interchange
Rear:	Min. 10 feet - Village Center, Min. 10 ft. – Interchange
Side:	Min. 0 feet – Village Center, Min. 7.5 – Interchange
Overflow Parking	None
Driveway length:	Min. 15 feet – Max. 30 ft.
On-street parking:	9 parking spaces provided
Maximum building height:	Min. 2 stories encouraged, Max. 5 stories – Village Center, Min. N/A, Max. 8 stories – Interchange
Off-street parking:	293 parking spaces

In accordance with the requirements of the Kelly Park Interchange Form Based Code, the owner has submitted a Master Plan in conjunction with the rezoning application detailing the development of the proposed commercial center. The property currently has a future land use designation of City of Apopka Mixed Use Interchange, which is a consistent future land use category with the KPI-MU zoning designation. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange.

The Master Plan/Preliminary Development Plan proposes development of the property with a total of 68,231 square feet of commercial uses including a 46,031 square foot Publix supermarket on 18.13 acres. The Master Plan/Preliminary Development Plan details design of the proposed development in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Village Center and Interchange character zones, which allows commercial development as permitted uses. The surrounding properties currently consist primarily of agricultural uses.

The Master Plan/Preliminary Development Plan proposes dividing the property into three blocks, labeled as Blocks “A”, “B”, and “C”. Block “A” will consist of a 7,200 square foot retail building, parking to serve the commercial uses, and a 0.9 acre outparcel labeled as “future development.” Block “B” will consist of a 46,031 square foot Publix supermarket, and three retail buildings ranging in size from 3,000 to 6,000 square feet, and parking to serve the commercial uses. Block “C” is 7.33 acres and

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is reserved for future development. A temporary stormwater retention pond serving Blocks “A” and “B” will be located on Block “C”. The applicant proposes to assign the Village Center character zone to Blocks “A” and “B”, and the Interchange character zone to Block “C”.

Access to the site is proposed via a full access point and a right-in/right-out located on Kelly Park Road, and a right-in/right-out and a full access located on Plymouth-Sorrento Road. The Master Plan/Preliminary Development Plan details the dedication of 100-feet of right-of-way in the center of the property to the City. This public right-of-way will facilitate the development of the internal north-south roadway to Appy Lane.

The Master Plan/Preliminary Development Plan details the development of this roadway within the subject property in accordance with street type B (Village Center Access Street) as outlined in the Kelly Park Interchange Form Based Code. A 9-foot wide on-street parking area, a 7-foot wide bike lane, an 8-foot wide sidewalk, a 12-foot wide drive lane, and an 11-foot median will be constructed on this road. A 12-foot wide bicycle/pedestrian trail will be provided along the eastern portion of the property abutting Kelly Park Road. A five foot wide sidewalk will be dedicated along Plymouth-Sorrento Road. An internal pedestrian network will be established within the commercial portion of the site. A landscape gateway with an entry feature and water feature will be provided at the main entrance to the development on Kelly Park Road. 20-percent of the total site area will remain as open space in accordance with the requirements of the Form Based Code.

That the zoning classification of the following described property be designated as Kelly Park Interchange Mixed-Use (KPI-MU), Neighborhood character zone, as defined in the Kelly Park Interchange Form Based Code, and with the following provisions:

1. Development of the property is subject to the requirements of the Kelly Park Interchange Form Based Code, Neighborhood character zone.
2. The architectural design of the buildings must be consistent with Section K.2.g, and Appendix A of the Kelly Park Interchange Form Based Code.
3. A 12-foot wide multi-purpose trail will be constructed along the portion of the development abutting Plymouth-Sorrento Road to facilitate the construction of a regional trail system. (Policy 20.19, FLUE; Sec. Q, FBC). The trail shall be placed in an easement or tract.
4. Perpetual easements dedicated to the City of Apopka shall be provided over the internal pedestrian pathways and trail networks to allow public access.
5. A development agreement shall address the extension of utilities, dedication of rights-of-way, and public access to regional trail facilities.

The proposed use of the property is consistent with the Mixed-Use Interchange Future Land Use designation and is consistent with the Kelly Park Interchange Form Based Code.

Pursuant to Section 7 of the Joint Planning Area agreement, Orange County was notified on May 11, 2018.

The Development Review Committee finds the proposed rezoning to Kelly Park Interchange Mixed-Use (KPI-MU), and assignment of a Village Center and Interchange character zones consistent with the Comprehensive Plan and Kelly Park Interchange Form Based Code, and recommends approval of the Kelly Park Publix Master Plan/Preliminary Development Plan.

Staff recommended the Planning Commission find the proposed zoning, overlay district and Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the rezoning of the subject parcels from Orange County A-1 (ZIP

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to Kelly Park Interchange Mixed-Use (KPI-MU) and assign the KPC Village Center and Interchange Overlay Districts, and approval of the Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report, exhibits, and City Council approval of a Development Agreement for the property owned by JD and Kathleen L Horne Trust and located at 4966 Plymouth-Sorrento Road.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Geoff Summit, G L Summit Engineering, Inc., 3667 Simonton Place, Lake Mary, stated he represented the owner, supported the staff report, and was available to answer any questions.

Chairperson Greene opened the meeting for public hearing.

In response to questions by Fraser Gunter, 4201 Golden Willow Circle, Apopka, Mr. Moon stated that the Master Plan/Preliminary Development Plan details the dedication of 100-feet of right-of-way in the center of the property to the City for public right-of-way that will facilitate the development of the internal north-south roadway to Appy Lane. He added that future plans include the extension of Appy Lane to SR 429.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

In response to a question by Ms. Phillips, Mr. Moon stated that development agreement shall address the extension of utilities, dedication of rights-of-way, and public access to regional trail facilities.

Motion: **Roger Simpson made a motion to find the proposed zoning, overlay district and Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the rezoning of the subject parcels from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU) and assign the KPC Village Center and Interchange Overlay Districts, and approval of the Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report, exhibits, and City Council approval of a Development Agreement for the property owned by JD and Kathleen L. Horne Trust and located at 4966 Plymouth-Sorrento Road. Motion seconded by Patrice Phillips. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)**

LEGISLATIVE – COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT - Chairperson Greene stated this is a request to find the Future Land Use Designation consistent with the Comprehensive Plan; and recommend approval of the Future Land Use amendment to Mixed Use Interchange, subject to the information and findings in the staff report, for the properties owned by Min Sun Cho, Hong Sik, and Deok Hwa Kim and located at 4068, 4046, & 4022 Plymouth Sorrento Road.

Staff Presentation: Mr. Martinez stated this is a request to find the Future Land Use Designation consistent with the Comprehensive Plan; and recommend approval of the Future Land Use amendment to Mixed Use Interchange, subject to the information and findings in the staff report, for the properties owned by Min Sun Cho, Hong Sik, and Deok Hwa Kim and located at 4068, 4046, & 4022 Plymouth Sorrento Road. The applicants are Min Sun Cho, Hong Sik & Deok Hwa Kim. The existing uses are nurseries, single family homes and woodlands. The proposed use is a single family subdivision. The current zoning is R-1AAA and the proposed zoning is Mixed Use Interchange Zoning District with Neighborhood Overlay Zone. The existing maximum allowable development is 40 residential units and the proposed is 100 residential units. The tract size is 20 +/- acres.

The applicant requests a future land use designation of “City” Mixed Use Interchange. Policy 20.9, Future Land Use Element of the Comprehensive Plan, requires that a Mixed Use Interchange future a land use designation must be assigned to the property.

The subject parcels are located within the one-mile radius from the Wekiva Parkway interchange at Kelly Park Road; and therefore is required to adhere to the Kelly Park Crossing Form Based Code. The properties are located within the Wekiva Parkway Interchange Vision Plan Area. Therefore, the property must comply with Objectives 18 – 20 and related policies within the Future Land Use Element of the Comprehensive Plan and the recently adopted Kelly Park Crossing Form-Based Code. The applicant’s request is consistent with the Mixed Use Interchange future land use designation and the Overlay District covering the property within the Vision Plan.

The proposed use of the property is compatible with the character of the surrounding area, is within one mile of the SR 429/Kelly Park Road interchange, and is consistent with the Mixed Use Interchange Land Use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the Wekiva Parkway Interchange Vision Plan a (see Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

Future Land Use Element

1. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional and public facilities uses to serve the residential and non-residential needs of special areas of the City. The mix of land uses may occur on a single parcel or multiple parcels ...

The designation of a mixed use category may occur only in certain areas of the city, including “land anticipated for inclusion within the Wekiva Parkway Interchange Land Use Plan...” These properties are within the 1-mile radius of the Wekiva Parkway Interchange depicted on the Wekiva Parkway Interchange Vision Plan Map located within the Future Land Use Element of the Apopka Comprehensive Plan.

2. **Policy 18.1** The City shall implement the Wekiva Parkway Interchange Vision Plan, which guides the location of a range of uses, such as residential, office, commercial, industrial, recreation, public and institutional, at various densities and intensities around the proposed interchange.

The proposed Mixed Use Future Land Use Designation allows for residential densities and non-residential uses and intensities to implement the Wekiva Parkway Interchange Vision Plan, consistent with Objective 18 and related policies.

3. **Policy 18.2** Prior to rezoning any property within a one-mile radius of the interchange Study Area, the City shall amend its LDC to incorporate development standards that will implement the Vision Plan.

This future land use amendment does not include a corresponding proposed zoning category because the City has yet to adopt development standards or form-based code consistent with this policy. Future densities/intensities and design character for the subject properties will be regulated at the time of rezoning once Wekiva Parkway Interchange Vision Plan design standards and form-based code are adopted.

4. **Policy 20.4** Prior to approving the first development plan with the Wekiva Parkway Interchange vision Plan Area, the City shall adopt the Wekiva Parkway Interchange Form-Based Cod

establishing the design and development standards for the Wekiva Parkway Interchange Vision Plan Area.

The subject properties will be required to comply with the above policy should the development submit a development plan to ensure consistency with the Comprehensive Plan and Wekiva Parkway Interchange Vision Plan.

5. **Policy 20.9** Development within the Wekiva Parkway Interchange Plan Area shall be assigned a Mixed-Use Interchange future land use designation and shall accomplish an overall mix of residential and non-residential uses as outline in Policy 3.1.r. Assignment of the Mixed-Use Interchange Land Use future land use designation shall require an amendment to the Comprehensive Plan.

The applicant's request for a Mixed Use future land use designation is consistent with this policy, as well as the intent of the Wekiva Parkway Interchange Vision Plan area, which intends to concentrate a mixture of land uses with varying densities and intensities within one mile of the Wekiva Parkway Interchange.

6. **Policy 20.3.** The annexation, land use change, and subsequent development of lands located within the Wekiva Parkway Interchange Plan Area for Apopka and the Wekiva Interchange Land Use Plan Overlay for the County shall be consistent with the adopted Interlocal Agreement between Orange County and the City of Apopka regarding Wekiva Interchange Land Use Plan Overlay.
7. **Objective 19 and 20, and their associated policies.** See objectives and policies within the supporting information.

Transportation Element

1. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, short trip lengths and balanced trip demand.

The Mixed Use future land use designation allows for a mixture of land use types such as residential and non-residential, which promotes shorter trip lengths, concentrated development to reduce travel demand.

2. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional uses and public facilities uses... This mix of land uses may occur on a single parcel or multiple parcels in the form of: a permitted single use; a vertical combination of different permitted uses; or a horizontal mix of different permitted uses.
3. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, shorter trip lengths and balanced trip demand.
4. **Objective 20 and associated Policies, Future Land Use Element.** Provided with the Supporting Information.

The properties are located within the boundaries of the Wekiva Parkway Interchange Vision Plan Area, making it subject to the Kelly Park Crossing Form-Based Code, Mixed- Use Interchange Zoning District and Neighborhood Overlay District. A copy of the Wekiva Parkway Interchange Vision Plan is provided with the support material.

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An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018. Notification has already occurred through the Second Amendment to the Joint Planning Agreement with Orange County government. The second amendment acknowledges that the City will assign a land use designation similar to the overlay district illustrated in the Wekiva Parkway Interchange Vision Plan.

The Development Review Committee recommends approval to transmit a change in Future Land Use to Mixed Use Interchange for the property owned by Min Sun Cho, Hong Sik & Deok Hwa Kim subject to the information and findings in the staff report.

Staff recommended the Planning Commission find the Future Land Use Designation consistent with the Comprehensive Plan and recommend a change in Future Land Use Designation to Mixed Use Interchange subject to the information and findings in the staff report for the properties owned by Min Sun Cho, Hong Sik, and Deok Hwa Kim and located at 4068, 4046, & 4022 Plymouth Sorrento Road

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting

Luke Classon, Appian Engineering, LLC, 2221 Lee Road, Suite 17, Winter Park, stated he represented the owner, supported the staff report, and was available to answer any questions.

Chairperson Greene opened the meeting for public hearing.

In response to a question by Mr. Gunter, Mr. Moon defined a mixed use development as being characterized as pedestrian-friendly development that blends two or more residential, commercial, cultural, institutional, and/or industrial uses. Mixed use is a planning strategy that seeks to foster community design and development that serves the economy, community, public health, and the environment. Mixed-use development is characterized as one that provides three or more significant revenue-producing uses (such as retail/entertainment, office, residential, hotel, and/or civic/cultural/recreation); fosters integration, density, and compatibility of land uses; and creates a walkable community with uninterrupted pedestrian connections. Mixed-use zoning allows for the horizontal and vertical combination of land uses in a given area. Commercial, residential, and even in some instances, light industrial are fit together to help create built environments where residents can live, work, and play.

Mr. Moon recommended that anyone wanting more information on mixed use development, schedule a meeting with Planning staff.

In response to a question by Mr. Sprinkle, Mr. Moon stated that for those properties that are intersected by the Form Based Code 1-mile radius boundary, the property owner may select to bring the portion outside the property into the Form-Base Code area.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Motion: Roger Simpson made a motion to find the Future Land Use Designation consistent with the Comprehensive Plan; and recommend approval of the Future Land Use amendment to Mixed Use Interchange, subject to the information and findings in the staff report, for the properties owned by Min Sun Cho, Hong Sik, and Deok Hwa Kim and located at 4068, 4046, & 4022 Plymouth Sorrento Road.. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda

Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

LEGISLATIVE – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT - Chairperson Greene stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from Agriculture to Industrial, subject to the findings of the Staff Report, for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road.

Staff Presentation: Mr. Martinez stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from Agriculture to Industrial, subject to the findings of the Staff Report, for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road. The applicant is Vihlen & Associates, P.A. c/o Sidney L. Vihlen, III. The existing and proposed use is warehousing used by Randall Mechanical for commercial and industrial uses. The current zoning is AG (Agriculture). A change of zoning to I-1 is being processed in conjunction with the small scale future land use amendment. The existing maximum allowable development is 1 dwelling unit and the proposed maximum allowable development is up to 124,146 sq. ft. gross floor area. The tract size is 4.75 +/- acres.

The subject parcel was annexed in the city on February 21, 1996 by Ordinance 918. The applicant requests a future land use designation of Industrial. The site has been used for industrial purposes for several years. Parcels to the north

The proposed use of the property is consistent with the Industrial Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support an Industrial FLUM designation at the subject site:

Future Land Use Element, Policy 3.1.1, Industrial - The primary use shall be industrial, intensive commercial, agricultural and business/research parks. Also allowed are public facilities and supporting infrastructure. The use of the Planned Unit Development process shall be encouraged. The maximum floor area ratio shall be .60. Planned Unit Development uses may include: (1) All primary uses; and (2) other uses deemed compatible with and complimentary to the other proposed master planned uses and the surrounding neighborhoods.

The proposed Industrial Future Land Use Designation will not generate any additional student population. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Industrial for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road.

Staff recommended the Planning Commission find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from Agriculture to Industrial, subject to the findings of the Staff Report, for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 12, 2018, AT 5:30 P.M.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to questions by Mr. Simpson, Mr. Moon stated that while the subject property is currently designated as Agriculture, the use is industrial as reflected in the type of work done on this site. Randall Mechanical, Inc. develops fire suppression systems for customers such as Disney. There is industrial uses to the north of this property; a church to the south; and residential uses on the east and west. The industrial use being requested will have little impact on the surrounding areas as it will be conducted inside a building. He added that if there comes a time the owner of the business wants to expand they will be required to address buffering requirements.

Mr. Simpson continued to express his concern regarding the environmental impacts to the neighboring properties.

In response to questions and concerns expressed by Ms. Phillips, Mr. Moon stated that at the time there is major development a 30 to 50 foot landscape buffer would be required with a brick wall adjacent to any residential uses. Additionally, there is no direct transportation issues between the proposed industrial use and the residential uses.

Sidney L. Vihlen, III, Vihlen & Associates, P.A., 605 East Robinson Street, Suite 750, Orlando, stated he represented the owner as their legal counsel, they support the staff report, and he was available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: John Sprinkle made a motion to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from Agriculture to Industrial, subject to the findings of the staff report, for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road. Motion seconded by Linda Laurendeau.

In response to a question by Mr. Simpson, Mr. Moon stated that Industrial land use has two intensities. General Industrial is the heavy industrial uses that employ the processing of bulk materials and which require space for open storage of materials. These activities are usually performed outside. Restricted Industrial, such as being proposed for the subject property, is composed of those lands and structures which by their use and location, are especially adapted to wholesale distribution, storage, and light manufacturing. Restricted industrial uses are usually performed inside a structure.

Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – CHANGE OF ZONING – Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the proposed Change of Zoning from Agriculture to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

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Staff Presentation: Mr. Martinez stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the proposed Change of Zoning from Agriculture to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road. The applicant is Vihlen & Associates, P.A. c/o Sidney L. Vihlen, III. The existing and proposed use is warehousing used by Randall Mechanical for commercial and industrial uses. The current zoning is AG (Agriculture). A future land use amendment to Industrial is being processed in conjunction with the change of zoning. The existing maximum allowable development is 1 dwelling unit and the proposed maximum allowable development is up to 124,146 sq. ft. gross floor area. The tract size is 4.75 +/- acres.

The subject parcel was annexed in the city on February 21, 1996 by Ordinance 918. The applicant requests a future land use designation of Industrial and the zoning to I-1 Industrial.

A request to assign a change of zoning to I-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from Agriculture to Industrial.

The existing and proposed use of the property is consistent with the proposed Industrial (Max. FAR 0.6) Future Land Use designation.

The proposed zoning change will not generate any residential units and thus not generate any additional school-age population. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from Agriculture to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road.

Staff recommended the Planning Commission find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the proposed Change of Zoning from Agriculture to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Petitioner Presentation: Sidney L. Vihlen, III, Vihlen & Associates, P.A., 605 East Robinson Street, Suite 750, Orlando, stated he represented the owner as their legal counsel, they support the staff report, and he was available to answer any questions.

Motion: **Linda Laurendeau made a motion to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the proposed Change of Zoning from Agriculture**

to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road. Motion seconded by Patrice Phillips. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – CHANGE OF ZONING – Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from “County” C-2 (General Commercial District) to “City” C-1 (Commercial Retail District) for the property owned by SunTrust Bank and located at 936 East Semoran Boulevard.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Mr. Martinez stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from “County” C-2 (General Commercial District) to “City” C-1 (Commercial Retail District) for the property owned by SunTrust Bank and located at 936 East Semoran Boulevard. The applicant is Causseaux, Hewett, and Walpole, Inc. The existing use is vacant land and the proposed use is a 5,304 sq. ft. commercial spaces. The future land use is Commercial and the current zoning is C-2. The existing and proposed maximum allowable development is 5,304 sq. ft. of commercial space. The tract size is 0.49 +/- acres.

SunTrust Bank owns three vacant parcels east-adjacent of the bank. The eastern-most adjacent parcel, 920 E. Semoran Boulevard was annexed in the City on April 18, 2018. The City Council is scheduled to vote for a Commercial future land use designation and C-1 zoning for 920 E. Semoran Boulevard on June 6, 2018, which is located two parcels to the east. The three parcels will be assembled for a proposed Zaxxby’s restaurant. A utility easement runs across the majority of this property, and the majority of the parcel will likely be used for open space within a future site plan.

A request to assign a change of zoning for 936 E. Semoran Boulevard to C-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area.

The existing and proposed use of the property is consistent with the proposed C-1 (Commercial Retail) Future Land Use designation.

The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from C-2 (General Commercial District) to C-1 (Commercial Retail District) for the property owned by SunTrust Bank, and located at 936 E Semoran Blvd.

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Staff recommended the Planning Commission find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and recommending approval of the proposed Change of Zoning from C-2 (General Commercial District) to C-1 (Commercial Retail District) for the property owned by SunTrust Bank, and located at 936 E Semoran Blvd.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Petitioner did not have a presentation.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Ms. Phillips left the Council Chambers at 6:20 p.m.

Motion: John Sprinkle made a motion to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from “County” C-2 (General Commercial District) to “City” C-1 (Commercial Retail District) for the property owned by SunTrust Bank and located at 936 East Semoran Boulevard. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Roger Simpson, and John Sprinkle (4-0). (Vote taken by poll.)

Ms. Phillips re-entered the Council Chambers at 6:22 p.m.

QUASI-JUDICIAL – CHANGE OF ZONING – VISTA RESERVE - Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from R-1AA (Residential Single Family District) to PUD (Planned Unit Development); and approval of the PUD Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits for the property owned by Mikhail Wafaa, George Abdelsayed, Lucy Abdelsayed, and Wafeek Abdelsayed and located east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Mr. Howell stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from R-1AA (Residential Single Family District) to PUD (Planned Unit Development); and approval of the PUD Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits for the property owned by Mikhail Wafaa, George Abdelsayed, Lucy Abdelsayed, and Wafeek Abdelsayed and located east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. The applicant is Pulte Home Corporation. The existing use is vacant land and the proposed is a 153 single family home subdivision to be developed in one phase. The future land use is Low Density Residential and the current zoning is R-1AA (Residential Single Family District). The tract size 61.1 +/- acres.

The subject property is approximately 61.1 acres in size and is zoned R-1AA (Residential Single Family District) and has a future land use designation of Low Density Residential. The subject property is

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located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. The proposed change of zoning to PUD (Planned Unit Development) is being requested by the prospective developer, Pulte Homes who proposes to construct 153 single-family units in one phase on the property. The subdivision is proposed to be developed at a density of 2.53 dwelling units per acre. The Low Density Residential future land use designation permits up to 3.5 dwelling units per acre.

The Master Plan proposes 153 lots consistent of 140 65-foot wide lots and 13 90-foot wide lots, a community park with a swimming pool and cabana and tot-lot, and a buffer tract along the entire perimeter of the community. Further, is proposed to be accessed via Rogers Road. The surrounding properties consist primarily of single-family residential subdivisions and include the Carriage Hills subdivision located to the south which is currently under construction, Oak Hill Reserve to the south and east, and Wekiva Run to the west. Average lot widths in the Carriage Hills subdivision is 75-foot, Oak Hill Reserve is 95-foot, and 95-foot in Wekiva Run.

A. Lot Size.

Typical Lot Width	Number of units	Percentage of development	Typical lot area (minimum size)
65-foot	140	91.5%	8,125 square feet
90-foot	13	8.5%	11,250 square feet
Total	153	100%	

While a PUD zoning requires a minimum lot width of 70 feet with a minimum lot area of 7,500 sq. ft., Vista Reserve proposes 65-foot and 90-foot wide lots with a minimum average lot area of 8,125 square feet for the 65-foot wide lots and 11,250 square feet for the 90-foot wide lots, contained within an open space tract not less than 15 feet wide on the north, east, and south project lines and 10 feet wide on the western project line abutting Rogers Road. The minimum lot depth is proposed at 125-foot. The minimum living area is proposed at 2,190 square feet. The subdivision will be accessed via Rogers Road. Rogers Road will terminate at the main entrance of the development. The developer will be dedicating a 0.68 acre portion of right-of-way along Rogers Road to the City. The subdivision will consist of public roads and infrastructure that is owned and maintained by the City. Vehicular and pedestrian connections are provided to the property to the north and to the Carriage Hills subdivision located to the south. A continuous open space tract is provided around the perimeter of the subdivision to buffer the homes from the surrounding existing subdivisions. Thirty percent of the site, or 18.13 acres of open space is provided, and will be owned and maintained by the homeowners association. Two tracts located on the northwestern and northeastern corners of the site are reserved for stormwater retention. The stormwater retention areas will be owned and maintained by the homeowners association. A 1.67 acre tract is reserved for the community recreation facility that will be owned and maintained by the homeowners association. Included within the recreation facility is a picnic area, pool, pool cabana building, play structure, open play area, bicycle parking, and a parking area for 8 cars.

B. Deviations. The applicant is requesting one deviation to the City’s required development standards. For a PUD Master Plan, a deviation from the City’s Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the Planned Unit Development zoning. PUD’s are required to satisfy the requirements of the Land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. Typical Lot Width Standard, Land Development Code Section 2.02.18.D.11. Requires a minimum lot size within a PUD to be 70-feet in width, and to have a minimum site area of 7,500 square feet. The developer is proposing 140, 65-foot and 13, 90-foot wide lots with

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minimum lot sizes of 8,125 square feet and 11,250 square feet respectively. These lot sizes exceed the required single-family minimum lot area of 7,500 square feet.

C. Justification for Deviations/Development Standard. The following justifications are provided for the three deviations that are proposed.

1. Reduced Density. The future land use designation of the property is Low Density Residential which allows up to 3.5 dwelling units per acre. The PUD Master Plan proposes a density of 2.53 dwelling units per acre, which is 0.97 dwelling units per acre less than the maximum density permitted in the Low Density Residential future land use category.
2. Dedication of right-of-way for the extension of Rogers Road. The PUD Master Plan proposes the dedication to the City of a 0.68 acre tract for right-of-way for Rogers Road. This will allow for the future extension of Rogers Road to the north to allow Rogers Road to serve as a future connector road between Ponkan Road and Lester Road.
3. An improved recreation amenities package is proposed. The recreation package will consist of a picnic area, pool, pool cabana building, play structure, open play area, bicycle parking, and a parking area for 8 cars. The recreation area is proposed at 1.67 acres in size, which is in excess of the 1.43 acres required by code.
4. Preservation of Open Space. The PUD master plan provides a continuous open space tract is around the perimeter of the subdivision to buffer the homes from the surrounding existing subdivisions. This area will consist of Bahia sod and Live Oak and Magnolia trees, which upon maturity is anticipated to ensure the homes within the development are not visible from the surrounding existing residential subdivisions.
5. Increased minimum living area size. The applicant is proposing a minimum living area of 2,190 square feet. The R-1AA zoning district requires a minimum living area of 1,700 square feet. Also, the larger lots, the 90-foot width, are located on the eastern project perimeter consistent with lot width and size occurring in the Oak Hill Reserve community abutting to the east.

That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

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The proposed use of the property is consistent with the Low Density Residential Future Land Use designation and is consistent with the Land Development Code.

Per Orange County Public Schools, the project is vested to satisfy capacity, however there are outstanding concurrency issues that will be required to be satisfied prior to approval of a plat.

Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County is not required for a rezoning application as the subject parcels are not adjacent to unincorporated Orange County.

The Development Review Committee finds the proposed rezoning to Planned Unit Development (PUD), PUD Master Plan, and the Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Vista Reserve Planned Unit Development Master Plan and Preliminary Development Plan.

Staff recommended the Planning Commission find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from R-1AA (Residential Single Family District) to PUD (Planned Unit Development); and approval of the PUD Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits for the property owned by Mikhail Wafaa, George Abdelsayed, Lucy Abdelsayed, and Wafeek Abdelsayed and located east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to questions by Mr. Simpson, Mr. Moon stated that there are no plans in the near future to improve Rogers Road. The applicant has proposed dedication of right-of-way for the extension of Rogers Road. The PUD Master Plan proposes the dedication to the City of a 0.68 acre tract for right-of-way for Rogers Road. This will allow for the future extension of Rogers Road to the north to allow Rogers Road to serve as a future connector road between Ponkan Road and Lester Road. The City would have to install sidewalks along Rogers Road.

In response to a question by Mr. Sprinkle, Mr. Moon stated the minimum lot width in this PUD category is 70 feet or greater.

In response to concerns expressed by Ms. Laurendeau, Mr. Moon stated that since properties that are in the City straddle Rogers Road, Public Services could make a determination to improve Rogers Road if the budget allows.

In response to a question by Ms. Phillips, Mr. Moon stated that the applicant was required to provide a traffic study; however the study determined that improvements on Rogers Road were not warranted at this time.

Mr. Simpson expressed his concerns that Rogers Road is very challenging for pedestrian and bike traffic.

Ms. Laurendeau added that there is a no visibility when exiting onto Rogers Road from Grace Point Church.

Petitioner: Doug Hoffman, Pulte Homes, 4901 Vineland Road, Suite 500, Orlando, stated that the traffic study indicated that Rogers Road met with the level of service. He stated that they plan to improve Rogers Road along their portion. Additionally, by going to small lots, it allowed more open space between this development and adjacent residential uses.

Mr. Simpson stated that Pulte was providing a good product, but the development is inconsistent with the safety of Rogers Road.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Linda Laurendeau made a motion to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from R-1AA (Residential Single Family District) to PUD (Planned Unit Development); and approval of the PUD Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits for the property owned by Mikhail Wafaa, George Abdelsayed, Lucy Abdelsayed, and Wafeek Abdelsayed and located east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. Motion seconded by James Greene. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, and John Sprinkle; Roger Simpson voted No. (4-1). (Vote taken by poll.)**

QUASI-JUDICIAL - VARIANCE – BRIDLEWOOD - Chairperson Greene stated this is a request to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.05(H)(2) to allow a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of the required 6-foot tall brick, stone or decorative block wall within a 5-foot wide bufferyard on the western, northern and eastern perimeters of the property owned by Laura R. Murphy and located at 359 West Lester Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.05(H)(2) to allow a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of the required 6-foot tall brick, stone or decorative block wall within a 5-foot wide bufferyard on the western, northern and eastern perimeters of the property owned by Laura R. Murphy and located at 359 West Lester Road. The land use is Residential Low Suburban (0-3.5 unit(s)/acre) and the zoning is R-1 (Single Family Residential). The existing use is vacant land and the proposed use is a single family residential subdivision. The tract size is 19.94 +/- acres.

Variance Request Summary: Section 2.02.05 (H)(2) – Bufferyard requirements. Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall. The applicant proposes to install a 6-foot tall composite fence in lieu of the required brick or decorative wall block on the western, northern and eastern perimeters abutting existing agricultural zoning districts or activities.

Variance Request - Code Standard, Sec. 2.02.05(G)(5) – Bufferyard requirements – Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall.

- *Applicant Request* - Allow a 6-foot tall composite fence in lieu of the required brick or decorative wall block on the western, northern and eastern perimeters abutting existing agricultural zoning districts or activities.

Variance Process: Per Land Development Code Section 10.02.00, the Planning Commission shall follow two steps to approve a variance:

- Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission “shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.
- Step 2: Section 10.02.02.B, Required Findings. Once a “physical hardship” has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

Applicable City Codes: Section 2.02.15(G)(3) – Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, “whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.”

Staff Response Summary -- While active agricultural uses occur on property abutting to the east, west, and north, growth trends in the surrounding areas show transition to residential uses within the near future. These growth pressures will likely result in rising land prices and expanding housing demands pressuring adjacent properties to develop as residential communities in the near future. Furthermore, unincorporated parcel to the west and north presently have a “County” Future Land Use Designation of Low Density Residential assigned to them. This means that the County’s Growth Management Plan, its Comprehensive Plan, supports and encourages residential development on the western and northern parcels.

Ponkan Road to the north is a dividing line between urban densities to the south and lower residential densities to the north. Policy in the City’s Comprehensive Plan limits residential development to no more than two units per acre unless within the Wekiva Parkway Interchange Vision Plan Area. Development is encouraged by policies in the City’s Comprehensive Plan to concentrate higher residential density south of Ponkan Road. This policy further encourages the transition of agriculturally zoned lands south of Ponkan Road to residential use.

Other trends supporting residential development along Lester Road include: close proximity to existing and planned commercial retail and grocery stores as well as schools and regional recreation facilities (West Orange Trail). Water, sewer and reclaimed lines are accessible to the proposed Bridlewood parcel.

The parcel to the east, the Avian Recondition Center, is within the City of Apopka and assigned an Agriculture Future Land Use and Zoning.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

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1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant's Response: Yes. The variance has also previously been discussed with City Staff to ensure it will conform to the intended outline of the City's comprehensive plan.

Staff's Response: No objection.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: No, the request is based on what the surrounding properties with eventually become based on the City of Apopka's comprehensive plan.

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: No. The proposed variance will not increase congestion at all on surrounding public streets.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: No, the proposed variance will not diminish property values at all. The proposed variance in conjunction with the proposed development will increase surrounding property values. The variance will also not result in any alteration of the essential character of the area surrounding the site.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: Yes. The proposed variance is in harmony with the general intent of the current code and the specific intent of the relevant subject area.

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: No special conditions or circumstances do not result from the actions of the applicant.

Staff Response: No objection. The applicant does not have control over development trends along Lester Road to residential uses.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: Yes. The proposed variance is minor to what the current code specifies. The proposed variance will not create any safety hazards or other detriments to the public.

Staff Response: No objection.

Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Planning Staff has no objection to the proposed request. Based on recent residential development existing and proposed in this area, as well as neighborhood commercial uses proposed in the northwest intersection of Lester Road and Rock Springs Road, Staff anticipates residential development will continue on Lester Road.

The Planning Commission has the authority to approve, deny, or approve with conditions.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to a question by Chairperson Greene, Mr. Moon stated the proposed use is residential.

In response to a question by Mr. Sprinkle, Mr. Moon stated that Agriculture zoning requires larger lots.

In response to a question by Ms. Laurendeau, Mr. Moon stated the Avian Reconditioning Center is on the east side of the subject property. The code requires buffering between residential and agricultural uses.

Petitioner: Luke Classon, Appian Engineering, LLC, 2221 Lee Road, Suite 17, Winter Park, stated that he and Eric Wells, Avex Homes, LLC, 28 East Washington Street, Orlando, were available to answer any questions.

Mr. Classon explained that they were requesting the variance because if they are required to put up a wall there would be a 5-foot wide no man's land between their wall and the adjacent residential fences. The issue then becomes how to maintain that area. He clarified that they were proposing a composite fence and not PVC fencing.

Mr. Wells stated that he had met with the McCorkles of the Avian Reconditioning Center three times and they specifically asked that composite fence be installed and Ms. McCorkle picked out the color. There would still be a masonry wall along Lester Road.

Mr. Moon stated that staff has not seen the composite fencing being proposed and is unable to comment on the appearance or construction of this type of fencing.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Roger Simpson made a motion to determine a hardship does occur pursuant to Section 10.02.02.A, that the need for the proposed variance arises out of the

physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property owned by Laura R. Murphy and located at 359 West Lester Road. Motion seconded by Patrice Phillips. Aye votes were cast by James Greene, Patrice Phillips, and Roger Simpson; Linda Laurendeau and John Sprinkle voted No. (3-2). (Vote taken by poll.)

Motion: Rogers Simpson made a motion to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.05(H)(2) to allow a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of the required 6-foot tall brick, stone or decorative block wall within a 5-foot wide bufferyard on the western, northern and eastern perimeters of the property owned by Laura R. Murphy and located at 359 West Lester Road. Motion seconded by Patrice Phillips. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

At 7:17 p.m. the Planning Commission recessed for a 10-minute break.

At 7:27 p.m. the Planning Commission reconvened.

QUASI-JUDICIAL - VARIANCE REQUEST – HIDDEN LAKE RESERVE SUBDIVISION - Chairperson Greene stated this is a request to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.07(H)(1)(a) to allow a 6-foot high aluminum fence with masonry columns for portions of the proposed wall length and a 6-foot high vinyl fence as part of screening in areas adjacent to North Bradshaw Road or eastern property line in lieu of the required 6-foot tall brick, stone or decorative block wall for property owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak.

Eric Jay, 227 North Bradshaw Road, Apopka, requested affected party status due to his property being across Bradshaw Road from the subject property.

The Planning Commission unanimously agreed to consider Mr. Jay an affected party.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Ms. Sanchez stated this is a request to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.07(H)(1)(a) to allow a 6-foot high aluminum fence with masonry columns for portions of the proposed wall length and a 6-foot high vinyl fence as part of screening in areas adjacent to North Bradshaw Road or eastern property line in lieu of the required 6-foot tall brick, stone or decorative block wall for property owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway. The land use is Medium Low Density Residential (0 – 7.5 du/ac) and the zoning is R-3 (Residential Multiple-Family). The existing use is vacant land and the proposed use is a townhome development. The tract size is 15.88 +/- acres.

Variance Request Summary: Section 2.02.07(H)(1)(a) – Bufferyard requirements. A six-foot-high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape material shall be placed adjacent to the right-of-way on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish.

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Variance Request - Code Standard, Sec. 2.02.07(H)(1)(a) – Bufferyard requirements – A six-foot-high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard..

- *Applicant Request* - Allow a 6' high masonry wall or 6' high aluminum fence with columns for 50% of the proposed wall length and the use of a 6' high vinyl fence or a landscape barrier as a screening method in areas with excessive sloping conditions for a substitute to the required six-foot-high brick, stone or decorative block finished wall adjacent to the North Bradshaw Road or eastern property line.

Variance Process: Per Land Development Code Section 10.02.00, the Planning Commission shall follow two steps to approve a variance:

Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission “shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.

Step 2: Section 10.02.02.B, Required Findings. Once a “physical hardship” has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

Applicable City Code: Section 2.02.15(G)(3) – Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, “whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.”

Staff Response: Staff supports a physical and environmental condition hardship because wetlands extend across the North Bradshaw Road right-of-way, and grade. A staff recommendation is provided herein.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant’s Response: Yes. The variance has also previously been discussed with City Staff to ensure it will conform to the intended outline of the City's comprehensive plan. The Hidden Lake Reserve eastern property line abuts the existing 25’ wide North Bradshaw Road right-of-way. Currently, North Bradshaw Road is an unimproved right-of-way. Wetlands extend across the right-of-way, creating a difficulty to construct a ten-foot buffer and a brick wall. In addition, the Hidden Lake Reserve natural topography has excessive slopes to the unnamed waterbody. This sloping condition is most prominent along the eastern property line (North Bradshaw Road).

Staff's Response: No objection.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: The Hidden Lake Reserve grading must address excessive sloping while meeting existing grades along the eastern property line. This sloping condition provides challenges in the constructability of a brick, stone or decorative block wall to screen an unimproved right-of-way, while dealing with an existing waterbody.

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: The Hidden Lake Reserve eastern bufferyard proposes a screening option and will not increase congestion on any surrounding public streets. Additionally, there is no increase in the proposed PDP application units or traffic distribution to the unimproved North Bradshaw Road.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard will not diminish property values, nor alter the essential character of the area surrounding the site. The subject property will provide the code required bufferyard width along the eastern property line.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard is in harmony with the intent of this code. The subject property will provide a 10' wide landscaped bufferyard with optional forms of screening methods, which is the intent of the minimum 10' wide bufferyard with six-foot-high brick, stone or decorative block finished wall.

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard will not create a special condition or circumstance. The subject property will provide a 10' wide landscaped bufferyard with optional forms of screening methods.

Staff Response: No objection.

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7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard will provide a 10' wide landscaped bufferyard with a minimum 6' high vinyl fence or landscape barrier as a screening method on excessively sloped areas of the site. Utilizing the use of a fence or landscape barrier will allow a more constructible screening method on the excessive slopes, thus providing a minimum variance from the code. The subject property will provide the code required bufferyard width and will not create a safety hazard or detriment to the public.

Staff Response: No objection.

Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates "whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved." If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

The Planning Commission has the authority to approve, deny, or approve with conditions the requested variance.

If Planning Commission approves the Variance, the following language is recommended:

Staff supports the following:

- (a) North of the lake -- A six-foot high brick wall and ten-foot buffer tract shall run from the northeast corner to a point nearest the lift station. From that point south, a wrought-iron style fence or brick wall shall extend southward to a point no closer than 25 feet from the wetland line. Staff supports variance to waive the brick wall from the southern-most upland buffer line to the northern-most 25-foot upland buffer line); and
- (b) South of the Lake: A six-foot high brick wall shall extend from the southwest corner to the north-south apex, and a wrought-iron or brick wall shall be constructed to a point within 25 feet of the wetland line.

Applicant requests: Approve a variance from Section 2.02.07(H)(1)(a), Land Development Code, to allow a 6-foot tall vinyl fence 239 feet from the most southeastern point of the parcel along N. Bradshaw Road to the conservation point, 282 feet at length. As well as, a vinyl fence after 273 feet from the most northeastern point to the lift station on N. Bradshaw Road to the conservation point, 141 feet at length. The variance shall expire at the time the site redevelops, allowing conformance to the buffer requirements applicable at that time.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Bob Wanas, Madden, Moorhead, & Stokes, Inc., 431 E. Horatio Ave, Suite 260, Maitland, stated that he represents the owner. He explained the topography of the location along the eastern side of the property and why they are requesting a variance of the brick wall.

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Affected Party: Eric Jay, 227 North Bradshaw Road, Apopka, stated that his property is directly across Bradshaw Road from the subject property and requested the Planning Commission require a brick wall on the southeastern corner across from his home and his next door neighbor's home.

Mr. Moon reviewed the map provided by the applicant that depicts the buffering being requested on all four sides of the property. In particular the eastern side where the wetlands are located.

A lengthy discussion ensued between staff, the City Attorney, the developer, and the Planning Commission regarding the variance request and whether the Planning Commission could place a condition on the variance requiring a brick wall along the western side between the property and Apopka Elementary.

Mr. Brackins advised the Planning Commission that they could only address the variance that was requested.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to determine a hardship does occur pursuant to Section 10.02.02.A, that the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property due to the wetland area owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway. Motion seconded by John Sprinkle. An Aye vote was cast by James Greene; No votes were cast by Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (4-1). (Vote taken by poll.)

The Motion failed.

QUASI-JUDICIAL – PRELIMINARY DEVELOPMENT PLAN – HIDDEN LAKE RESERVE SUBDIVISION - Chairperson Greene stated this is a request to find the Hidden Lake Reserve Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of this staff report, and findings of the buffer/wall variance for the property owned by TGINF, LLC and located at 501 Old Dixie Highway.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Jean Sanchez, Planner II, stated this is a request to find the Hidden Lake Reserve Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of this staff report, and findings of the buffer/wall variance for the property owned by TGINF, LLC and located at 501 Old Dixie Highway. The applicant and engineer is Madden, Moorhead and Stokes, Inc., c/o Chad Moorhead, P.E. The future land use is Medium Low Density Residential (0 – 7.5 du/ac) and the zoning is R-3 (Residential Multiple Family). The existing use is vacant land. The proposed use is a 92 Townhome development with 18 buildings. There will be 8 buildings with 4 units each and 10 buildings with 6 units each. The minimum lot size is one acre and the minimum living area is 1,350 square feet. The building height is up to 35 feet. The proposed density is 6.78 du/ac. The tract size is 13.57 +/- acres (developable area); 15.88 +/- acres total.

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The Hidden Lake Reserve Subdivision Preliminary Development Plan proposes a gated, townhome community with a maximum of 92 townhome units, private streets, and a community pool and cabana. The minimum typical lot for a townhome building is one acres with a required minimum living area of 1,350 square feet for each residential units as set forth in Chapter 2 of the Land Development Code.

Setbacks: The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25’*
Side	0, 10’**
Rear	20’***
Corner	25’

*Front-entry garage must be setback 30 feet and 50 feet from to front between buildings

**20 feet distance requirement between structures.

***50 feet from rear to rear between buildings.

Access: Ingress/egress access point for the development will occur via full access onto Old Dixie Highway. In addition, an emergency road and gate connects the internal street with Shirley Drive within Clayton Estates. The emergency road will provide additional access points for emergency vehicles for both Clayton Estates and for Hidden Lake Reserve. A cross access easement is placed across the internal streets within Hidden Lake Reserve to allow students from Apopka Elementary School to walk from Clayton Estates to the school without having to use Vick Road. Further, the children and families within Clayton Estates and Hidden Reserve can walk a short distance to visit friends in the abutting community. Otherwise, the walk between the communities is a much as 1.3 miles via Old Dixie Highway and Vick Roads instead of a few hundred feet in some cases.

Stormwater: The retention ponds, located on the north and south of existing water body or conservation area of the site, have been designed to meet the City’s Land Development Code requirements.

Bufferyard: Along Old Dixie Highway -- A 6-foot tall masonry and or 6-foot tall wrought iron fence with masonry columns within a 10-foot wide buffer tract is proposed by the applicant along Old Dixie Highway. Along Old Dixie Highway the Code requires a six foot-brick wall but the City may accept up to 50% of the wall to comprise wrought-iron style fence with columns. As the applicant has not identified where the 50% wrought-iron type fence will be place, planning staff does not support the wrought-iron-style fence.

Northern Perimeter next to Clayton Estates -- A 6-foot high brick wall exists on the north perimeter within a 10-foot wide buffer tract within the Clayton Estates Residential Subdivision, which is owned and maintained by Clayton Estates.

Eastern Project Line -- The City Code requires a ten-foot buffer and a six-foot high wall along Bradshaw Road. The applicant has applied for a variance to allow a six foot vinyl fence along the eastern property line in lieu of a brick wall within the 10 foot landscape buffer. The buffer and wall type shall be presented and determined through the variance application process.

Western Project Line -- Also proposed is a 6-foot tall vinyl fence within a ten-foot wide buffer tract abutting the single-family homes at the southwestern corner of the project and along Apopka Elementary School. The Code requires a brick wall within a 10-foot landscape buffer adjacent to single-family residential. The Code does not require residential development to provide a buffer wall between the proposed residential homes and the school property. A gate for cross access during school hours/sessions will also be provided between the school and Hidden Lake Reserve. OCPS supports the gate and pedestrian cross access easement within Hidden Lake. Both OCPS planning staff and City planning staff have asked the applicant to provide a brick wall in lieu of a vinyl fence next to the school for safety and appearance purpose, but the applicant states the he will only provide a vinyl fence. The

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Code does not require residential development to provide a buffer wall between residential homes and the public school.

A minimum of two spaces within the lot is required for each townhome unit. Applicant does not propose any requirement to have one- or two- car enclosed garages. All parking, then, can occur within the driveway. The garage is setback 30 feet from the front property line. No over-flow parking is provided and no parking is provided at the pool facility. Guests and cars not parked in the driveway will park in the street.

Conditions of Approval: (1) Wall within Old Dixie Highway bufferyard shall be a six-foot high brick or masonry wall. Not wrought-iron fence will be allowed unless approved by the City at the Final Development Plan, and no more than 50% of the wall length along Old Dixie Highway shall be wrought-iron. (2) A six-foot high brick wall shall be placed within a 10-foot wide bufferyard adjacent to the single-family homes at the southeastern corner of the project.

This development has an executed and recorded Capacity Enhancement Agreement with Orange County Public Schools (OCPS). School concurrency shall be required at Final Development Plan approval and no development activity can occur until such time that a concurrency mitigation agreement has been approved by OCPS.

The Development Review Committee recommends approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan/Plat subject to the findings of this staff report and the buffer/wall variance public hearing for VAR18-06 TGINF.

Staff recommended the Planning Commission find the Hidden Lake Reserve Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of this staff report, and findings of the buffer/wall variance public hearing for VAR18-06 TGINF for the property owned by TGINF, LLC and located at 501 Old Dixie Highway.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Mr. Moon stated that a cross access easement is placed across the internal streets within Hidden Lake Reserve to allow students from Apopka Elementary School to walk from Clayton Estates to the school without having to use Vick Road. Further, the children and families within Clayton Estates and Hidden Reserve can walk a short distance to visit friends in the abutting community.

In response to questions by Mr. Sprinkle, Mr. Moon stated that the applicant may be able to coordinate with Orange County Public Schools to install gates that would be open during school hours and then locked when school is closed.

In response to concerns by Mr. Sprinkle, Pam Richmond, AICP, Senior Planner, stated that a traffic study was completed and it was found that the project does not generate enough traffic to require any turn lanes into or out of the project.

Mr. Sprinkle disagreed and stated that due to the heavy traffic along Old Dixie Highway, especially around the school, the Wawa and Bradshaw Road, there should be turn lanes.

Ms. Richmond reiterated that the traffic study specifically addressed a left turn lane but it was found to be unwarranted.

Mr. Moon added that it was his understanding that Old Dixie Highway is maintained by Orange County and any improvements would require Orange County approval.

In response to a question by Chairperson Greene, Ms. Sanchez stated that currently the school children have to walk all the way around the property due to heavy brush on the subject property.

In response to a question by Mr. Sprinkle, Ms. Sanchez stated there would be a brick wall along Old Dixie Highway.

During the discussion of the buffers, the Planning Commission decided to revisit the previous variance request.

Motion: Linda Laurendeau made a motion to Table the request to recommend approval of the Preliminary Development Plan for the property owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

Motion: John Sprinkle made a motion to reopen Item #8, Variance Request, Hidden Lake Reserve Subdivision, for the property owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

Motion: Chairperson Greene made a motion to reconsider the Motion to find a Hardship for Item #8, Variance Request, Hidden Lake Reserve Subdivision, for the property owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

Mr. Brackins, City Attorney, advised the Planning Commission that if they found a hardship, they needed to specify in the motion what the hardship was.

Motion: Chairperson Greene made a motion to determine the wetlands located on the eastern side of the subject property a hardship pursuant to Section 10.02.02.A, that states the need for a variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property owned by TGINF, LLC, c/o Alan Goldberg, and located at 501 Old Dixie Highway. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

Motion: John Sprinkle made a motion to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.07(H)(1)(a) to allow, north of the lake, a six-foot high brick wall and ten-foot buffer tract shall run from the northeast corner to a point nearest the lift station. From that point south, a wrought-iron style fence or brick wall shall extend southward to a point no closer than 25 feet from the wetland line; to waive the brick wall from the southern-most upland buffer line to the northern-most 25-foot upland buffer line); and south of the Lake to allow a six-foot high brick wall to extend from the southwest corner to the north-south apex, and a wrought-iron or brick wall shall be constructed to a point within 25 feet of the wetland line for property owned by TGINF, LLC, c/o Alan Goldberg and located at 501 Old Dixie Highway.

In response to questions about requiring a wall along the western side of the property, Mr. Brackins advised the Planning Commission that they could only address the specifics in the variance request.

Motion: John Sprinkle revised his motion to approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.07(H)(1)(a) to allow a six-foot high brick wall to extend from the southwest corner to the north-south apex, and a wrought-iron or brick wall shall be constructed to a point within 25 feet of the wetland line for property owned by TGINF, LLC, c/o Alan Goldberg, and located at 501 Old Dixie Highway. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

Motion: Linda Laurendeau made a motion to remove from the Table the request to recommend approval of the Preliminary Development Plan for the property owned by TGINF, LLC, c/o Alan Goldberg, and located at 501 Old Dixie Highway. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

Petitioner: In response to concerns raised by Mr. Sprinkle and Mr. Simpson, Mr. Wanas stated the traffic study did not require turn lanes or pedestrian access.

Mr. Moon advised the Planning Commission that Old Dixie Highway was an Orange County maintained roadway.

Mr. Wanas stated that the entrance will allow a stacking distance for two vehicles.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: John Sprinkle made a motion to find the Hidden Lake Reserve Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan subject to the Conditions of Approval (A wall within Old Dixie Highway bufferyard shall be a six-foot high brick or masonry wall. No wrought-iron fence will be allowed unless approved by the City at the Final Development Plan, and no more than 50% of the wall length along Old Dixie Highway shall be wrought-iron; and A six-foot high brick wall shall be placed within a 10-foot wide bufferyard adjacent to the single-family homes at the southeastern corner of the project); subject to the findings of the staff report; findings of the buffer/wall variance; and subject to a six-foot high brick or masonry wall along the western property line for the safety and welfare of students attending the adjacent school, for the property owned by TGINF, LLC and located at 501 Old Dixie Highway. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN/PLAT – STATON RIDGE - Chairperson Greene stated this is a request to find the proposed Stanton Ridge Final Development Plan and Plat consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Final Development Plan and Plat, subject to the findings of this staff report for the property owned by Central Florida Expressway Authority and located astride S.R. 429, west of the intersection of Belgian Street and Plymouth Sorrento Road.

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Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Mr. Moon stated this is a request to find the proposed Stanton Ridge Final Development Plan and Plat consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Final Development Plan and Plat, subject to the findings of this staff report for the property owned by Central Florida Expressway Authority and located astride S.R. 429, west of the intersection of Belgian Street and Plymouth Sorrento Road. The applicant is the Central Florida Expressway Authority. The existing use is a vacant single-family residential subdivision. The proposed development is a replat of the existing subdivision to accommodate 33 single family lots impacted by S.R. 429 right-of-way. The lot sizes are 95' x 130'. The land use is Residential Low Suburban (0-3.5 du/ac) and the zoning is R-1AA. The project size is 20.59 +/- acres.

Stanton Ridge was platted as a 65 lot subdivision in 2007 with access to Plymouth Sorrento Road from Belgian Street. Before homes were constructed in the platted Stanton Ridge subdivision, the Central Florida Expressway Authority (then the Orlando-Orange County Expressway Authority) acquired the subdivision to use the eastern portion for S.R. 429 right-of-way. By minor redesign of the subdivision, thirty-three of the original lots can be saved, all on the west side of S.R. 429. Access to the subdivision will continue from Belgian Street, which now has a bridge extending over S.R. 429. Belgian Street is a public road owned and maintained by the City. The bridge will be maintained by the Central Florida Expressway Authority.

Lots range from the smallest at 12,350 sq. ft. to the largest at 23,862 sq. ft. Majority of lots exceed 12,500 sq. ft.

A development agreement will accompany the new final development plan and plat when they appear before City Council at a public hearing. Development agreement is to address the following:

1. Delay landscaping and tree planting along the streets and common areas until a homebuilder acquires the project from the Central Florida Expressway Authority.
2. Delay completion of the park and recreation facilities until a homebuilder acquires the project.
3. Belgian Street landscape maintenance by the Stanton Ridge HOA.
4. Maintenance of the bridge.
5. Assurances to the future homebuilder that entitlements are in place, allowing home construction to proceed.

Development Profile:

No. of residential lots:	33	single family residential lots
Minimum lot width:	95	feet
Minimum lot depth:	130	Feet
Minimum lot size:	12,350	square feet
Minimum house livable area:	1,700	square feet

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Setbacks:

Front:	Min. 25 feet
Rear:	Min. 20 feet
Side:	Min. 10 feet
Garage:	30 feet (front entry)

The proposed use of the property is consistent with the Residential Low Suburban Future Land Use Designation and the R-1AA zoning category.

A School Capacity Enhancement Agreement has been approved by OCPS. The location is served by the following schools: Wolf Lake Elementary, Wolf Lake Middle, and Apopka High School. As the plat was previously recorded, school capacity enhancement and concurrency have already been satisfied.

Notification occurred to Orange County occurred through the Development Review Committee agenda distribution, of which Orange County is on the notification list.

The Development Review Committee recommends approval of the Stanton Ridge Final Development Plan and Plat.

Staff recommended the Planning Commission find the Stanton Ridge Final Development Plan and Plat consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Stanton Ridge Final Development Plan and Plat, subject to City Council approval of a Development Agreement.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Scott Glass, Shutts & Bowen LLP, 300 South Orange Avenue, Suite 1600 Orlando, stated he did not have a presentation.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Roger Simpson made a motion to find the proposed Stanton Ridge Final Development Plan and Plat consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Final Development Plan and Plat, subject to the findings of this staff report for the property owned by Central Florida Expressway Authority and located astride S.R. 429, west of the intersection of Belgian Street and Plymouth Sorrento Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN – WEKIVA RIVERWALK SHOPPING CENTER - Chairperson Greene stated this is a request to find the proposed Wekiva Riverwalk Shopping Center Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Wekiva Riverwalk Shopping Center Final Development Plan, subject to the findings of this staff report for the property owned by Woolbright Wekiva, LLC and located at 2121 East Semoran Boulevard.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 12, 2018, AT 5:30 P.M.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Mr. Howard stated this is a request to find the proposed Wekiva Riverwalk Shopping Center Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Wekiva Riverwalk Shopping Center Final Development Plan, subject to the findings of this staff report for the property owned by Woolbright Wekiva, LLC and located at 2121 East Semoran Boulevard. The engineer is Sun-Tech Engineering, Inc., Clifford R. Loutan, P.E. The land use is Commercial and the zoning is C-1. The existing use is a retail shopping plaza and the proposed use is a grocery store. The development size is 28,600 square feet.

The Wekiva Riverwalk Shopping Center Final Development Plan proposes a 28,600 square foot grocery store in the northeastern corner of the existing Wekiva Riverwalk shopping center building. Currently located in this tenant space is a restaurant and retail space. The Final Development Plan details an 8,500 square foot addition to the portion of the existing building where the grocery store is proposed. The addition will be constructed in an area that is currently used for parking and a drive aisle. The drive aisle leads into a driveway opening that currently allows access into the shopping center from Wekiwa Springs Road. The Final Development Plan proposes relocation of the driveway opening 90-feet to the south along Wekiwa Springs Road to accommodate the proposed building addition. Wekiwa Springs Road is an Orange County maintained road. Orange County has provided correspondence to the City indicating approval of the relocation of the driveway opening 90-feet to the south along Wekiwa Springs Road, and will issue a permit for the driveway relocation upon the City of Apopka's approval of the Final Development Plan.

The Final Development Plan provides a demolition plan which proposes the removal of 52 parking spaces to all for the 8,500 square foot building addition. Upon removal of the existing parking spaces to allow for the building addition, a total of 1,237 parking spaces will be provided in the Wekiva Riverwalk shopping center. This is a sufficient amount of parking to accommodate the proposed grocery store and the existing uses located in the shopping center. The applicant has submitted a parking statement prepared by a professional engineer which concludes there will be a sufficient amount of parking provided in the shopping center with the removal of the parking spaces that will accommodate the building addition. Staff has accepted and is in agreement with this parking statement.

Access to the site will be provided via a relocated driveway opening located 90-feet to the south along Wekiwa Springs Road, and existing driveway openings located along Semoran Boulevard. Wekiwa Springs Road is an Orange County maintained road. Orange County has provided correspondence to the City indicating approval of the relocation of the driveway opening 90-feet to the south along Wekiwa Springs Road.

Staff found the proposed building elevations to be designed in accordance with the City's Development Design Guidelines.

Stormwater run-off and drainage is accommodated by an existing on-site stormwater drainage system.

The applicant has provided a detailed landscape and irrigation plan for the portion of the parking lot in front of the proposed grocery store. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

The Development Review Committee recommends the approval of the Wekiva Riverwalk Shopping Center Final Development Plan.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 12, 2018, AT 5:30 P.M.

The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Staff recommended the Planning Commission find the Wekiva Riverwalk Shopping Center Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Wekiva Riverwalk Shopping Center Final Development Plan, subject to the findings of this staff report for the property owned by Woolbright Wekiva, LLC and located at 2121 East Semoran Boulevard.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Julie Kendig, GreenbergTraurig, 450 South Orange Avenue, Orlando, stated she represented the owner as their legal counsel, they support the staff report, and she was available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Roger Simpson made a motion to find the proposed Wekiva Riverwalk Shopping Center Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Wekiva Riverwalk Shopping Center Final Development Plan, subject to the findings of this staff report for the property owned by Woolbright Wekiva, LLC and located at 2121 East Semoran Boulevard. Motion seconded by Patrice Phillips. Aye votes were cast by James Greene, Linda Laurendeau, Patrice Phillips, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)**

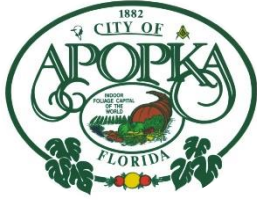
OLD BUSINESS: None.

NEW BUSINESS: None

ADJOURNMENT: The meeting was adjourned at 9:19 p.m.

James Greene, Chairperson

James K. Hitt, FRA-RA
Community Development Director



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: PUD Master Plan

MEETING OF: June 26.2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
PUD Master Plan

SUBJECT: CHANGE OF ZONING AND PUD MASTER PLAN– LEGACY HILLS

**REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING:
FROM: R-1AA (RESIDENTIAL SINGLE FAMILY DISTRICT)
TO: PUD (PLANNED UNIT DEVELOPMENT)
AND THE PUD MASTER PLAN FOR LEGACY HILLS**

SUMMARY:

OWNER: JEL Land Development LLC
APPLICANT: Gray Robinson P.A., Thomas R. Sullivan, Esq,
LOCATION: East side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road
PARCEL ID NUMBER: 06-21-28-7172-19-030
FLUM DESIGNATION: Low Density Residential
CURRENT ZONING: R-1A (Residential Single Family District)
PROPOSED ZONING: Planned Unit Development (PUD)
EXISTING USE: Vacant
PROPOSED DEVELOPMENT: 48 single family homes; developed in one phase
TRACT SIZE: 19.67 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: The subject property is approximately 19.67 acres in size and is zoned R-1A (Residential Single Family District) and has a future land use designation of Low Density Residential. The subject property is located on the south side of Schopke Road and west of the Partnership Hills subdivision. The proposed change of zoning to PUD (Planned Unit Development) is being requested to construct 48 single-family units in one phase on the property. The subdivision, Legacy Hills, is proposed to be developed at a density of 2.78 dwelling units per acre. The Low Density Residential future land use designation permits up to 3.5 dwelling units per acre.

The Planned Unit Development zoning was supported by Planning staff to support a transition of larger lots adjacent to the existing neighborhood to the east – Partnership Hills – and smaller lots within the interior. See the Lot Size Mix table below.

PROJECT DESCRIPTION: The Master Plan proposes 48 lots with a minimum width of 60 feet. While the east-adjacent subdivision, Partnership Hills, has larger lot widths, compatibility amongst the two subdivisions is depicted on lots 3-9 on the proposed Legacy Hills Master Plan. The previously mentioned, lots 3-9, have lot widths of 85 feet or more. A 10 foot landscape/wall buffer is proposed on the western and northern boundary lines of Legacy Hills, while a 5.37 acre retention/conservation area is proposed at the southern end of the subdivision. In addition, tracts for a playground and a picnic area are provided on the Master Plan. The surrounding properties consist primarily of single-family, residential, subdivisions, including Partnership Hills to the East, Fisher Plantation to the North, vacant woodlands to the south, and single family homes to the west.

A. Lot Size Mix.

Typical Lot Width	Number of units	Percentage of development	Typical lot area (minimum size)
60-feet	32	66.7%	7,500 square feet
70-feet	10	20.8%	9,100 square feet
85-feet	6	12.5%	12,933 square feet
Total		100%	

While PUD zoning requires a minimum lot width of 70 feet with a minimum lot area of 7,500 sq. ft., Legacy Hills proposes 60, 70 and 85 feet wide lots with a minimum lot area of 7,500 square feet for the 60 feet wide lots. As mentioned previously, the adjacent subdivisions, Partnership Hills and Fisher Plantation have larger lot widths, however, the lots in Legacy Hills that are abutting these subdivisions are 85 feet or larger in width. The 60 feet wide lots are mostly reserved for the interior area of the subdivision, and the western boundary. The minimum lot depth is proposed at 125-feet and the minimum living area is proposed at 1,700 square feet. Access to this subdivision is proposed at Schopke Road. Upon entry of the subdivision, an automobile’s viewshed will be facing Tract B, the picnic area/community park. A wall is proposed between the picnic area/community park and abutting houses. The intent of this wall is to block illumination of car lights on lots abutting the picnic area/community park. The proposed picnic area/community park, with a wall, is depicted on page 1-100 of the Master Plan. The subdivision will consist of public roads and infrastructure that is owned and maintained by the City. Thirty-two percent of the site, or 6.37 acres of open space is provided, and will be owned and maintained by the homeowners association. Tract F, located on the southern end of the site, is reserved for storm water retention, to be owned and maintained by the homeowners association.

B. Deviations. The applicant is requesting one deviation to the City’s required development standards. For a PUD Master Plan, a deviation from the City’s Land Development Code does not represent a variance, but a development standard or zoning condition unique to and approved as part of the Planned Unit Development zoning. PUD’s are required to satisfy the requirements of the Land Development Code,

unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. Typical Lot Width Standard, Land Development Code Section 2.02.18.D.11. requires a minimum lot size within a PUD to be 70-feet in width, and to have a minimum site area of 7,500 square feet. The developer is proposing 32, 60-foot wide lots with minimum lot sizes of 7,500 square feet. These lot sizes are proposed to be located in the interior and western boundary areas of the subdivision.
- C. Justification for Deviations/Development Standard. The following justifications are provided for the previously mentioned deviation.
1. Reduced Density. The future land use designation of the property is Low Density Residential which allows up to 3.5 dwelling units per acre. The PUD Master Plan proposes a density of 2.78 dwelling units per acre, which is 0.72 dwelling units per acre less than the maximum density permitted in the Low Density Residential future land use category.
 2. 5.87 acres is required for open space, the applicant has provided 6.37 acres.
 3. Increased minimum living area size. The applicant is proposing a minimum living area of 1,700 square feet. The R-1A zoning district requires a minimum living area of 1,600 square feet.
 4. The Master Plan places the largest lots adjacent to Partnership Hills, which as a typical lot width of approximately 100 feet and a typical lot size of approximately 14,500 sq. ft.

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses, and the R-1A zoning requirements and standards shall apply if a development standard or criteria is not provided within the PUD Master Plan or adopting ordinance.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Low Density Residential Future Land Use designation and is consistent with the Land Development Code.

SCHOOL CAPACITY REPORT: An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the rezoning.

PUBLIC HEARING SCHEDULE:

June 26, 2018 - Planning Commission (5:30 pm)
July 18, 2018 - City Council (7:00 pm) - 1st Reading
August 1, 2018 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

June 8, 2018 – Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed rezoning to Planned Unit Development (PUD), and the PUD Master Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Legacy Hills Planned Unit Development Master Plan.

Recommended Motion: Recommend to approve the rezoning of the subject parcel from R-1A (Residential Single Family District) to PUD (Planned Unit Development), and recommend to approve the PUD Master Plan based on the PUD Recommendations, and the findings and facts presented in the staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Future Land Use – In Progress	PD (ZIP)	Fisher Plantation Subdivision
East (City)	Residential Low	R-1A	Partnership Hills Subdivision
South (City)	Residential Low	R-1A	Lake Standish & Woodlands
West (County)	Low Density Residential	A-1	Single Family Houses

LAND USE &

TRAFFIC COMPATIBILITY:

The property is accessed via Schopke Road. Internal streets are public and will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential.

**COMPREHENSIVE
 PLAN COMPLIANCE:**

The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

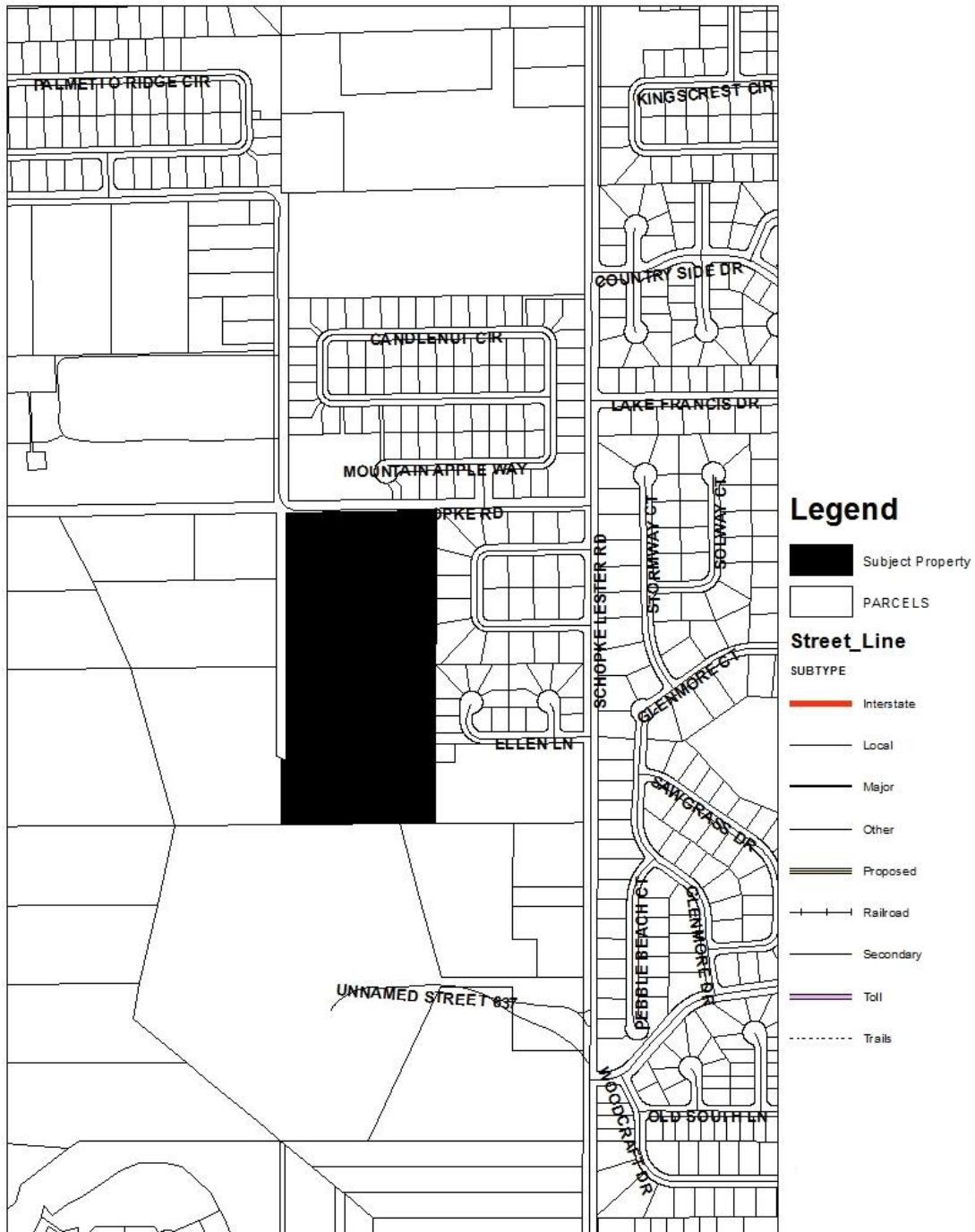
**ALLOWABLE
 USES:**

Single-family residential uses as set forth within the Planned Unit Development Master Plan.

Project: Legacy Hills PUD
Owned by: JEL Land Development LLC
Located: South of Schopke Road
Parcel ID#: 06-21-28-7172-19-030

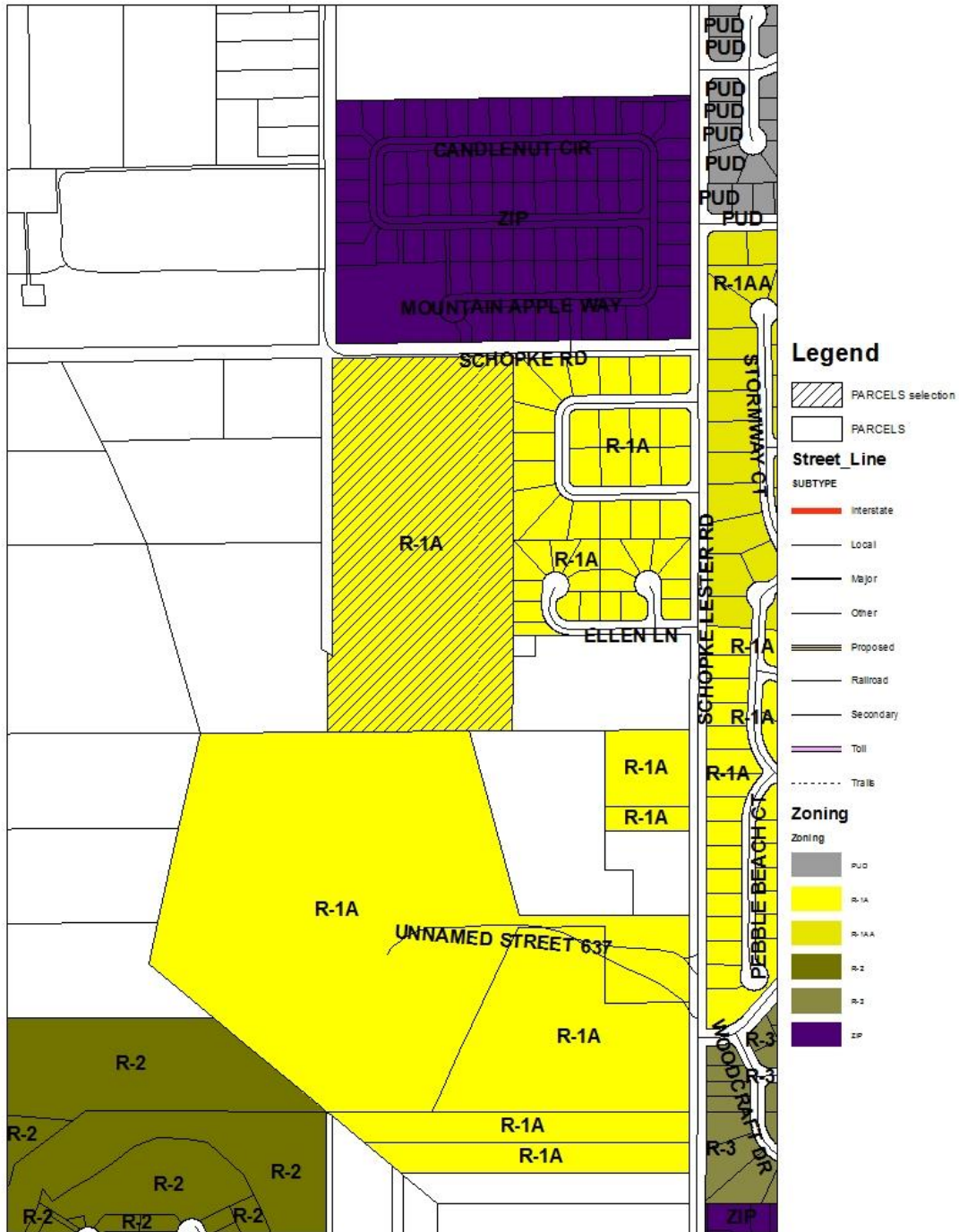


VICINITY MAP



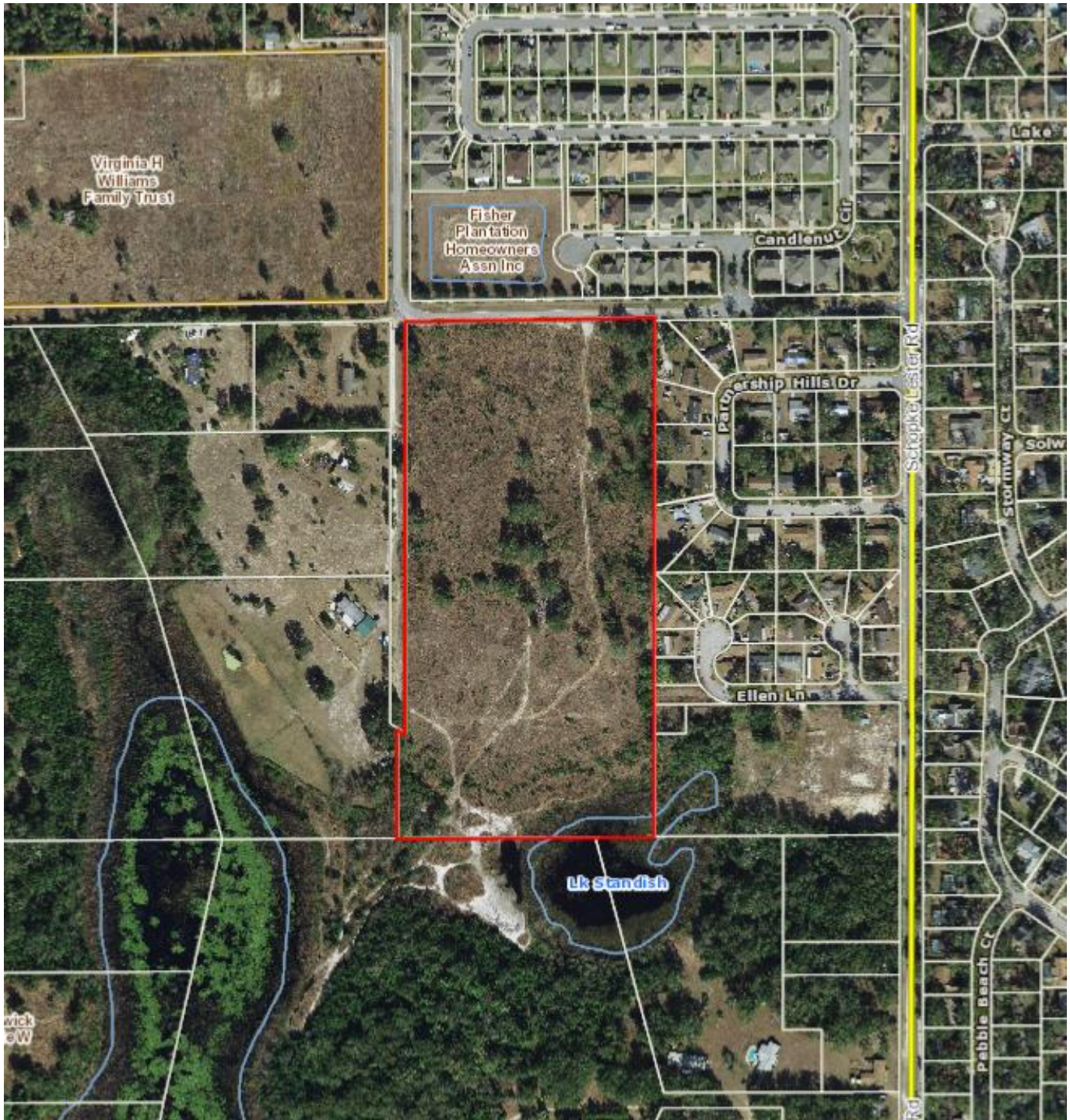


ADJACENT ZONING





ADJACENT USES



MASTER PLAN

LEGACY HILLS

CITY OF APOPKA, FLORIDA

PREPARED FOR

JEL Land Development, LLC

LEGAL DESCRIPTION (AS FURNISHED)

A TRACT OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING LOTS 3 THROUGH 6, BLOCK S, OF THE MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE 40 FOOT VACATED RIGHT-OF-WAY LYING SOUTH OF LOTS 5 AND 6 AND THAT PART OF THE OCCUPIED PLATTED LAKE STANDISH LYING SOUTH OF SAID LOTS 5 AND 6 WITHIN BLOCK S, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED LOT 3 AS THE POINT OF BEGINNING; THENCE RUN SOUTH 89.89° 37' WEST ALONG THE EAST LINE OF SAID LOT 3 AND LOT 6 AND THE EXTENSION THEREOF, ALSO BEING THE WEST LINE OF PARTNERSHIP HILLS, PER THE RECORD PLAT RECORDED IN PLAT BOOK B PAGE 13 OF SAID PUBLIC RECORDS, AND THE WEST LINE OF ARIANE HILLS SUBDIVISION, PER THE RECORD PLAT RECORDED IN PLAT BOOK B PAGE 13 OF SAID PUBLIC RECORDS, 1,341.07 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION AND THE SOUTH LINE OF THE AFORESAID BLOCK S; THENCE RUN SOUTH 89.122° 57' WEST ALONG THE SOUTH LINE OF SAID BLOCK S, 635.21 FEET; THENCE RUN NORTH 00.01° 32' EAST, ALONG THE WEST LINE OF SAID BLOCK S AND THE WEST LINE OF LOTS 5 AND 4 AND THE EXTENSION THEREOF, 1338.14 FEET, TO THE SOUTH RIGHT-OF-WAY LINE OF SCHOPKE ROAD; THENCE RUN NORTH 89.07° 24' EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 638.40 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, FLORIDA AND REPRESENTS THE ORANGE COUNTY ASSESSOR PARCEL NUMBER 06-21-29-7172-19-030.

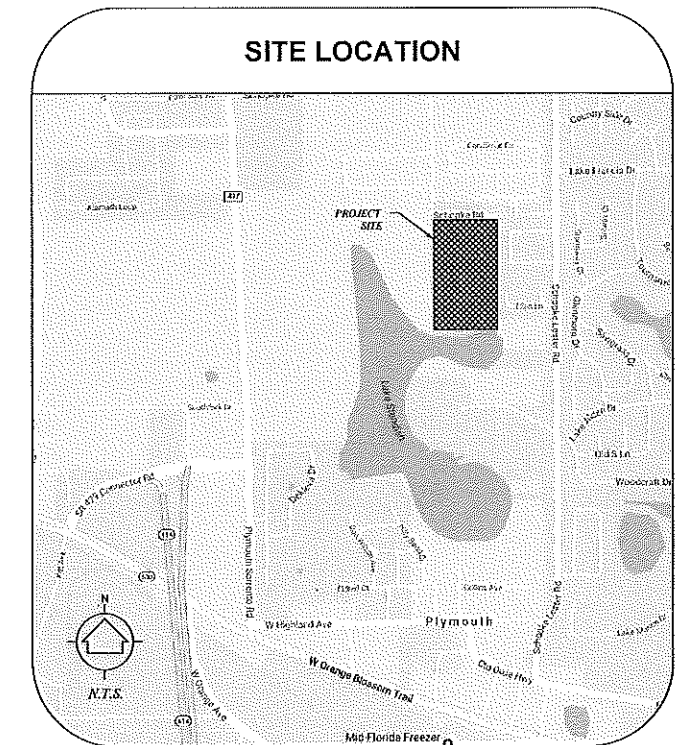
DEVELOPMENT DESIGN STANDARDS

All residential homes shall comply with the architectural design standards within the Apopka Development Design Standards.

Minimum Building Setbacks on Lots

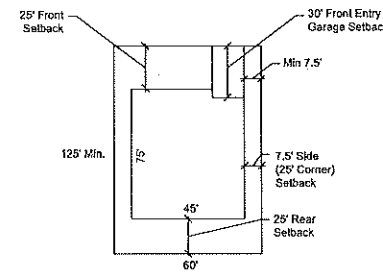
Front	25'
Side	7.5'
Rear	25'
Corner	25'
Front Entry Garage	30'

SITE LOCATION

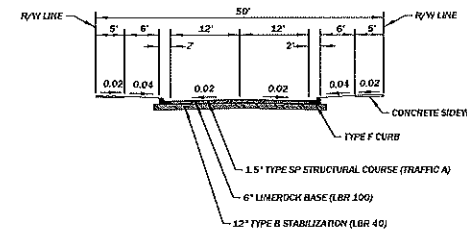


GENERAL NOTES

- Streets will be dedicated to the City of Apopka.
- Retention areas will be privately owned & maintained by the Homeowners Association (HOA) and will be unfenced.
- Water & sewer will be owned & operated by City of Apopka. Utilities will tie into existing utility locations shown on the development plans.
- The project will be designed in conformance with the City of Apopka Design Standards.
- Project infrastructure will be developed in one phase.
- Approved fire hydrants shall be located at intervals not to exceed 500' from any portion of any dwelling located on the premises. Min. size water main for fire protection shall be 8", or 6" in an approved looped arrangement.
- Min. lot width is 60' at both the front lot line and building line. Lots on curves and cul-de-sacs may reduce the minimum standard by 40% at the front lot line only.
- Street light pole and fixtures will be decorative type. A developer's agreement for maintenance and operation of the light will be executed. Details will be provided in the Final Development Plans.
- A landscape and irrigation plan is required to be submitted with the Final Development Plan. The irrigation system will be designed with "Pop-Up" type heads only, rain sensor devices will be required. No Risers Allowed.
- All utility boxes must be fully screened from view from right-of-way (when permitted by the utility provider.) Landscaping will be utilized where applicable.
- Min. of 3 canopy type trees at 3" DBH will be provided per lot.
- Street trees (canopy type), 30' on center will be placed on each lot at the front lot line within a dedicated easement. Easement is to be a minimum 5' in width and placed behind the front utility easement. Street trees will be a min. of 2.5" caliper at time of planting.
- All common areas including, recreation parks, buffers and landscape tracts will be owned and maintained by the HOA.
- Street signage, stop bars, speed limit signs, road striping will be provided in the Final Development Plan.
- Details of finishes, colors of all walls within the project will be provided in the Final Development Plan.
- The Final Development Plan will require a Plat document at the time of submittal.
- The ownership and maintenance of the buffer PVC fencing shall be by the HOA.
- The property is in FEMA Zones X and AE. According to FEMA FIRM maps, the base flood elevation for the property is 66.9 ft NAVD88.
- Roadway connections will require an Orange County permit and will have to meet Orange County requirements.



TYPICAL LOT LAYOUT



TYPICAL ROADWAY SECTION

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY DEVELOPMENT PLAN
3	BOUNDARY & TOPOGRAPHICAL SURVEY
LANDSCAPE/IRRIGATION/HARDSCAPE PLANS	
C-100	COVER SHEET
K-100	MASTER KEY PLAN
T-100	TREE MITIGATION PLAN
L-100 - L-102	LANDSCAPE PLANS/DETAILS
L-100 - L-102	IRRIGATION PLANS/DETAILS
H-100 - H-102	HARDSCAPE PLANS/ELEVATIONS

DEVELOPER

JEL Land Development, LLC
2649 Stanmore Court
Orlando, FL 32817
407-808-1244

AGENT

Thomas R. Sullivan
c/o Gray Robinson, PA
301 E. Pine Street
Orlando, FL 32801
407-244-5664

SURVEYOR

PEC
Surveying and Mapping, LLC
2100 Alafaya Trail, Suite 203
Oviedo, FL 32765
407-542-4967

GEOTECHNICAL

GEO Engineering & Sciences
250 S. Ronald Reagan Blvd., Suite 114
Longwood, FL 32750
407-379-9510

ENGINEER

GTC Engineering Corporation
98 S. Semoran Boulevard
Orlando, FL 32807
407-380-0402

ENVIRONMENTAL

Bio-Tech Consulting Inc.
3025 East South Street
Orlando, FL 32803
407-894-5969

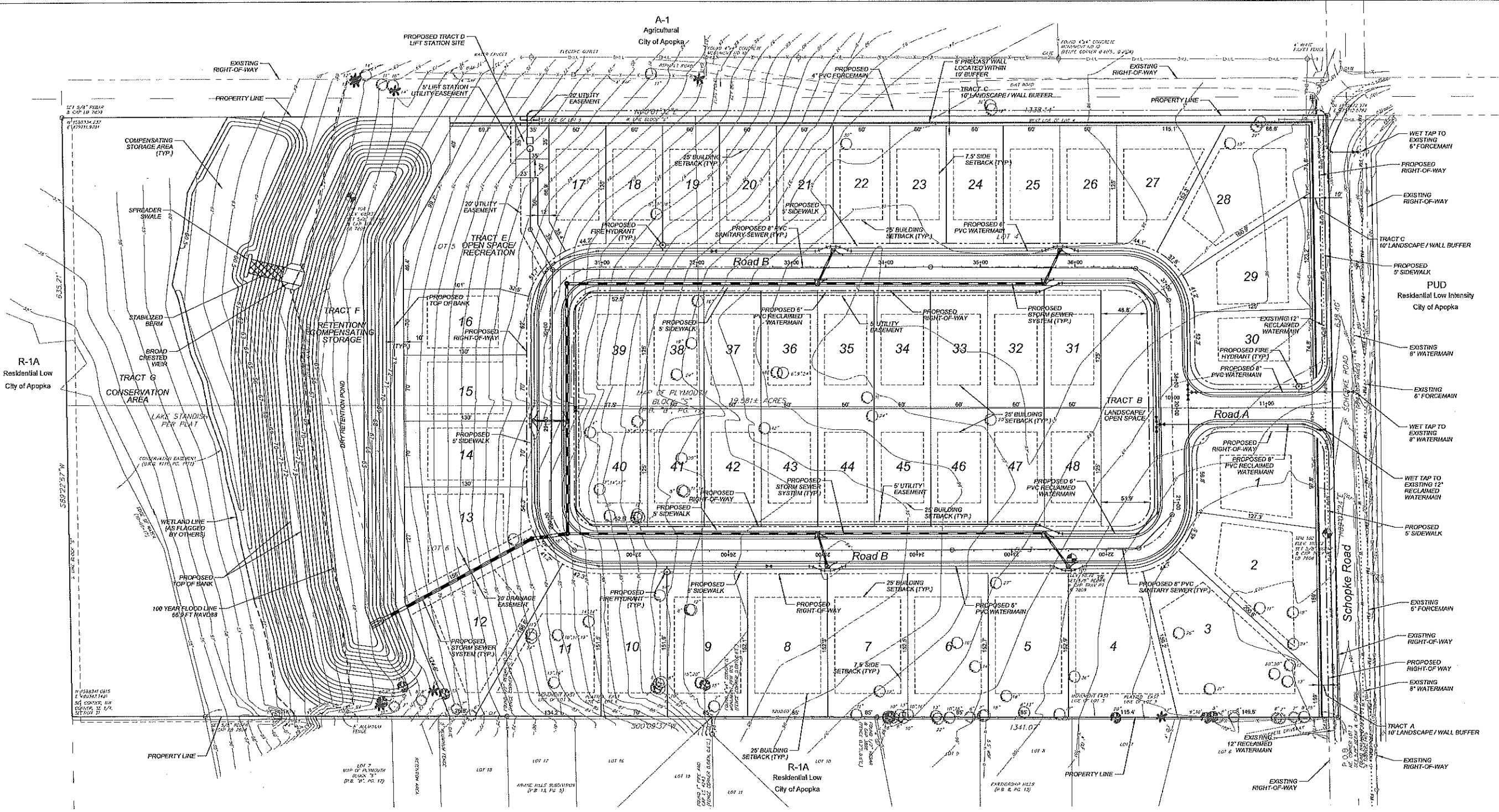
LANDSCAPING

Borrelli + Partners
720 Vassar Street
Orlando, FL 32804
407-418-1338

GTC Engineering Corporation

98 South Semoran Blvd., Orlando, FL 32807
407-380-0402

Certificate of Authorization
Number 9159
Clyde L. Casper, P.E.
P.E. Number 33499



Lot Area Table

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
1	11584	0.27	Varies	59.8
2	14195	0.33	Varies	45.5
3	19562	0.45	Varies	44.7
4	14885	0.34	Varies	79
5	12967	0.3	85	85
6	12950	0.3	85	85
7	12933	0.3	85	85
8	12916	0.3	85	85
9	12859	0.3	85	85
10	10610	0.24	70	70
11	13826	0.32	Varies	42.3
12	15766	0.36	Varies	41.2
13	12186	0.28	Varies	54.3
14	9100	0.21	70	70
15	9100	0.21	70	70
16	9006	0.21	Varies	62

Lot Area Table

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
17	7459	0.17	Varies	44.2
18	7500	0.17	60	60
19	7500	0.17	60	60
20	7500	0.17	60	60
21	7500	0.17	60	60
22	7500	0.17	60	60
23	7500	0.17	60	60
24	7500	0.17	60	60
25	7500	0.17	60	60
26	7500	0.17	60	60
27	10287	0.24	Varies	44.1
28	14656	0.34	Varies	37.6
29	10775	0.25	Varies	41.2
30	9650	0.22	Varies	52.3
31	7500	0.17	60	60
32	7500	0.17	60	60

Lot Area Table

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
33	7500	0.17	60	60
34	7500	0.17	60	60
35	7500	0.17	60	60
36	7500	0.17	60	60
37	7500	0.17	60	60
38	7500	0.17	60	60
39	9553	0.22	77.5	52.5
40	9553	0.22	77.5	52.5
41	7500	0.17	60	60
42	7500	0.17	60	60
43	7500	0.17	60	60
44	7500	0.17	60	60
45	7500	0.17	60	60
46	7500	0.17	60	60
47	7500	0.17	60	60
48	7500	0.17	60	60

Open Space Requirements (See Sec. 2.02.18(D)(19) and (20) of Apopka Code)

Total Land Area: 19.8 acres
Open Space Required (30 percent, Lots less than 70 feet): 5.87 acres

Category A - courts as 100 percent toward open space requirements.
Category B - courts as 100 percent toward open space requirements.
Category C - courts as 100 percent toward open space requirements.
Category C cannot be more than 50 percent of open space requirement.

Tract	Category A (acres)	Category B (acres)	Category C (acres)
A	0.07	0.00	0.00
B	0.28	0.00	0.00
C	0.27	0.00	0.00
D	0.45	0.00	0.00
E	0.00	0.00	0.00
F	0.00	0.00	0.00
G	0.00	0.00	0.00
Allowable	1.07	2.94	2.94

Open Space Provided (Allowable): 8.37 acres

TRACT TABLE

Lot Width	Pad Width	Number of Lots	Percentage of Total Lots
60 ft	45 ft	32	66.7%
70 ft	55 ft	10	20.8%
85 ft	70 ft	6	12.5%

Recreation Requirements (See Sec. 2.02.18(E)(5)(b) of Apopka Code)

Active and passive - Minimum 3.6 acres per 1000 projected population.
Population is calculated based on 2.6 persons per single family unit.

Persons/Unit	Units	Persons
2.6	46	124.6

Recreation Required: 0.45 acres
Recreation Provided: 0.45 acres

Proposed Recreational Facilities (per Sec. 2.02.18(E)(5)(b))
Group C: Picnic areas
Group D: Playgrounds, lot-lots

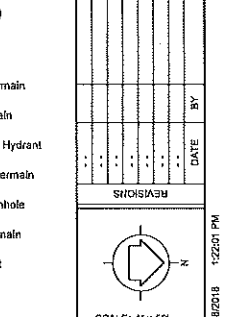
TRACT TABLE

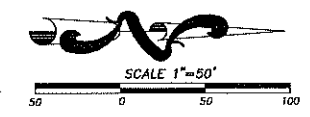
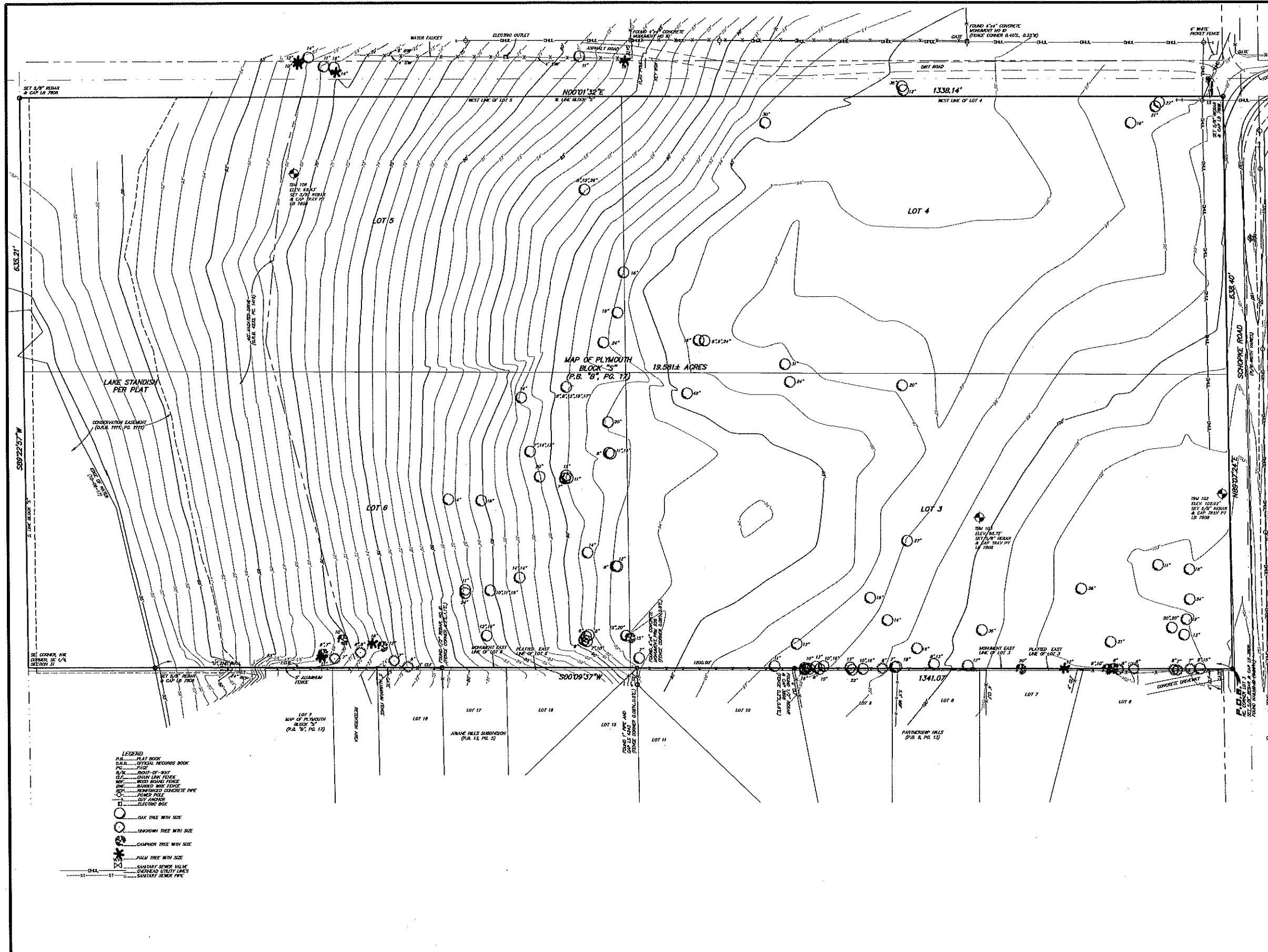
Tract	Ownership	Maintenance	Use	Acres
A	HOA	HOA	Landscape/Wall Buffer	0.07 Ac.
B	HOA	HOA	Landscape/Open Space	0.28 Ac.
C	HOA	HOA	Landscape/Wall Buffer	0.27 Ac.
D	City of Apopka	City of Apopka	Lift Station	0.06 Ac.
E	HOA	HOA	Retention/Open Space	0.45 Ac.
F	HOA	HOA	Retention/Compensating Storage	3.01 Ac.
G	HOA	HOA	Conservation	2.36 Ac.

BOUNDARY & TOPOGRAPHY SURVEY PROVIDED BY
PEC SURVEYING AND MAPPING, LLC (407) 542-4967

SITE DATA

Total Land Area: 19.8 Ac.
Section/Township/Range: 31S02S28E
Parcel ID: 06-21-28-712-19-030
Future Land Use: Residential Low
Current Zoning: R-1A
Proposed Zoning: PUD
Proposed Unit: Single Family
Total Units: 48 Units
Net Buildable Area: 17.24 Ac.
Proposed Density: 2.78 Units/Ac.
Required Open Space / Recreation: 5.87 Ac./0.45 Ac.
Maximum Building Height: 35' (12-4599)
School Age Population: 20 (48 x 0.404)
Minimum Lot Size: 60' X 125' (7,500 Sq. Ft.)
Minimum Building Area: 1,700 Sq. Ft.
Open Space Calculations: 3.01 Ac. (2.94 Ac. Allowable)
Retention Area: 0.45 Ac.
Active Recreation: 0.45 Ac.
Landscape: 0.82 Ac.
Conservation Area: 2.36 Ac.
Total Open Space Provided (Allowable): 3.01 Ac.





LEGAL DESCRIPTION
 A TRACT OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING LOTS 3 THROUGH 6, BLOCK 35, OF THE MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE 40 FOOT VACATED RIGHT-OF-WAY LYING SOUTH OF LOTS 5 AND 6 AND THAT PART OF THE OCCUPIED PLATED LAKE STANDISH LYING SOUTH OF SAID LOTS 5 AND 6 WITHIN BLOCK 35, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED LOT 3 AS THE POINT OF BEGINNING; THENCE RUN SOUTH 00° 09' 37" WEST ALONG THE EAST LINE OF SAID LOT 3 AND LOT 6 AND THE EXTENSION THEREOF, ALSO BEING THE WEST LINE OF PARTNERSHIP HILLS PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, AND THE WEST LINE OF ARANE HILLS SUBDIVISION PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, 1,341.07 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31 AND THE SOUTH LINE OF THE AFORESAID BLOCK 35; THENCE RUN SOUTH 89° 22' 57" WEST ALONG THE SOUTH LINE OF SAID BLOCK 35, 635.21 FEET; THENCE RUN NORTH 00° 01' 32" EAST, ALONG THE WEST LINE OF SAID BLOCK 35 AND THE WEST LINE OF LOTS 5 AND 4 AND THE EXTENSION THEREOF, 1338.14 FEET, TO THE SOUTH RIGHT-OF-WAY LINE OF SCOPKOE ROAD; THENCE RUN NORTH 89° 07' 24" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 636.40 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, FLORIDA AND REPRESENTS THE ORANGE COUNTY ASSESSOR PARCEL NUMBER 06-21-28-712-19-031.

- SURVEYOR'S NOTES**
- (1) THIS MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER IDENTIFIED BELOW.
 - (2) ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON THE FOLLOWING ORANGE COUNTY ENGINEERING DEPARTMENT'S BENCHMARKS:
 S1579012 ELEVATION 143.258'
 S1579016 ELEVATION 139.117'
 - (3) BEARINGS SHOWN HEREON ARE ASSUMED RELATIVE TO THE NORTH LINE OF LOTS 3 AND 4, BLOCK 35, MAP OF PLYMOUTH, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 17, AND THAT PART OF VACATED ROAD LYING SOUTH OF SAID LOTS 5 AND 6, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING DERIVED FROM B-TM-QRS VALUES OBTAINED USING LENSCHMANN OF FLORIDA'S L-NET NETWORK (NCS MAD 83 (N15R5002)) BEING NORTH 89°07'24" EAST.
 - (4) THE "LEGAL DESCRIPTION" HEREON IS IN ACCORD WITH THE DESCRIPTION FURNISHED BY THE CLIENT.
 - (5) UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBTAINED, ABOVE GROUND PERIMETER IMPROVEMENTS WERE LOCATED, UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
 - (6) DUE TO PHYSICAL LIMITATIONS, A MONUMENT CONFORMING TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, STANDARDS OF PRACTICE COULD NOT BE SET.
 - (7) THIS SURVEY IS CERTIFIED TO: JEL LAND DEVELOPMENT, LLC AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
 - (8) THE DELINEATION OF LANDS SHOWN HEREON IS AS PER THE CLIENT'S INSTRUCTIONS.
 - (9) THE CLASSIFICATION USE OF THE LAND, PURSUANT TO THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.021, IS SUBURBAN. THE MINIMUM RELATIVE DISTANCE ACCURACY OF THIS MAP OF BOUNDARY SURVEY ACHIEVES OR EXCEEDS ONE FOOT IN 7,500 FEET.
 - (10) THE VERTICAL CONTROL ESTABLISHED FOR THIS SURVEY IS BASED ON A CLOSED LEVEL LOOP, HAVING A CLOSURE ACCURACY WHICH MEETS OR EXCEEDS THAT REQUIRED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027.
 - (11) UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBTAINED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.
 - (12) NO ABSTRACT FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD HAVE BEEN PROVIDED TO THIS FIRM.
 - (13) NORTH-SOUTH AND EAST-WEST TIES TO RECOVERED MONUMENTATION NEAR VARIOUS LAND BOUNDARY CORNERS SHOWN HEREON ARE BY COORDINATE DIFFERENCE.
 - (14) THE SUBJECT PROPERTY IS OVERGROWN WITH VERY THICK UNDER BRUSH AND, AS SUCH, THE IMPROVEMENTS LOCATED ARE LIMITED TO THE EXTENT THE SURVEYOR BECAME AWARE OF THEM DURING "ON-SITE" FIELD VISITS ASSOCIATED WITH THIS SURVEY.
 - (15) THE SURVEYED LANDS MAY BE SUBJECT TO JURISDICTIONAL ENTITIES.
 - (16) ATTENTION IS DIRECTED TO THE FACT THAT THIS MAP MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

- LEGEND**
- P.B. - PLAT BOOK
 - P.R. - OFFICIAL RECORDS BOOK
 - PC - PLAT
 - R/W - RIGHT-OF-WAY
 - CL - CHAIN LINK FENCE
 - MC - METAL CORNER MARKER
 - DM - BARBED WIRE FENCE
 - RM - REINFORCED CONCRETE PIPE
 - PP - PAPER PIPE
 - ST - SANITARY SEWER
 - EL - ELECTRIC POLE
 - - OAK TREE WITH SIZE
 - - UNKNOWN TREE WITH SIZE
 - - CAMPHOR TREE WITH SIZE
 - - PALM TREE WITH SIZE
 - - SANITARY SEWER WALK
 - - OVERHEAD UTILITY LINES
 - - SANITARY SEWER PVE

DATE	BY	REVISIONS

PEC SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION NUMBER LB 7808
 2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967
 WWW.PECONLINE.COM dwt@peconline.com

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
 LOCATED IN
 SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST
 CITY OF APOPKA, ORANGE COUNTY, FLORIDA

JOB NO.:	17-109
DATE:	10-09-17
DRAWN BY:	T.W.B.
CHECKED BY:	D.A.W.
F.B.:	2128
PAGE(S):	40-67

DAVID A. WHITE, P.S.M. FL. REG. NO. 4044
 TRACY W. BIRCH, P.S.M. FL. REG. NO. 5579

David A. White
 DAVID A. WHITE, P.S.M.
 FLORIDA REGISTRATION NO. 4044
 PEC - SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION L.B. #7808
 DATE OF FIELD SURVEY: 10-09-2017
 DATE OF SIGNATURE: 10-27-2017

LANDSCAPE, IRRIGATION, AND HARDSCAPE PLANS

LEGACY HILLS

F.K.A.

SCHOPKE ESTATES

CITY OF APOPKA, FLORIDA
FOR: LUCAS LAND DEVELOPMENT, LLC

SHEET INDEX

C-100	COVER SHEET	I-100	IRRIGATION PLAN
K-100	MASTER KEY PLAN	I-101	IRRIGATION PLAN
T-100	TREE MITIGATION PLAN	I-102	IRRIGATION DETAILS
L-100	LANDSCAPE PLAN	H-100	HARDSCAPE PLAN
L-101	LANDSCAPE PLAN	H-101	HARDSCAPE PLAN
L-102	LANDSCAPE DETAILS	H-102	HARDSCAPE ELEVATIONS

BORRELLI + PARTNERS
ARCHITECTS
ORLANDO, FL 32838 (407) 418-1338



SIGNATURE AND DATED SEAL

CONSULTANTS

LEGACY HILLS

COVER SHEET

DRAWING TITLE

PROJECT ADDRESS

CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS
LL DEVELOPMENT

REV.

DESCRIPTION

DATE

PROJECT NO.

PHASE

CONSTRUCTION DOCUMENTS

NO SCALE

SCALE

FILE NAME

DRAWN BY

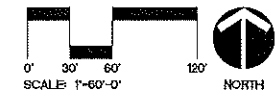
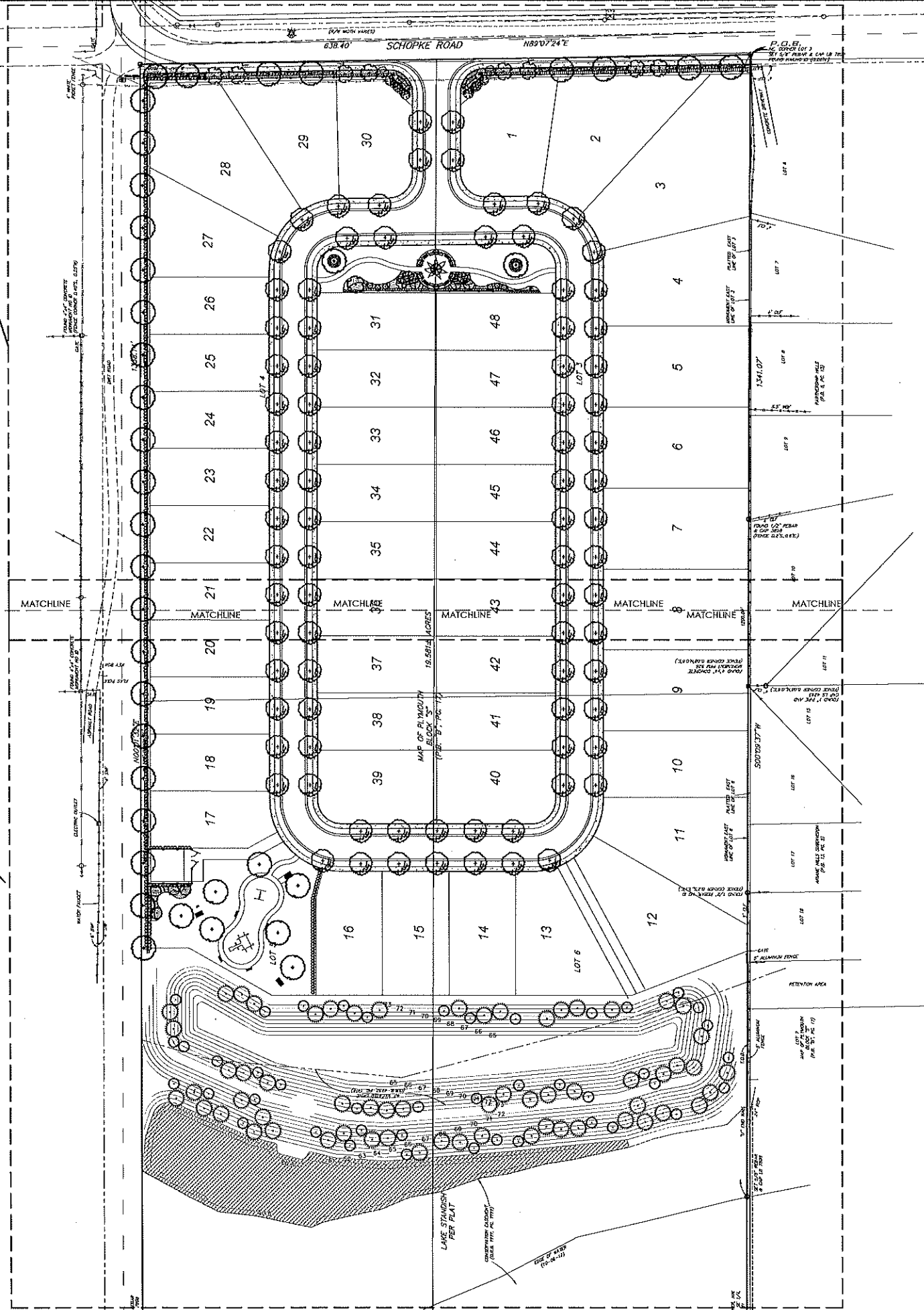
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DATE

C-100

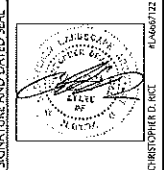
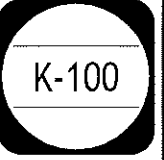
SEE SHEET L-100 FOR
LANDSCAPE PLAN
SEE SHEET I-100 FOR
IRRIGATION PLAN
SEE SHEET H-100 FOR
HARDSCAPE PLAN

SEE SHEET L-101 FOR
LANDSCAPE PLAN
SEE SHEET I-101 FOR
IRRIGATION PLAN
SEE SHEET H-101 FOR
HARDSCAPE PLAN



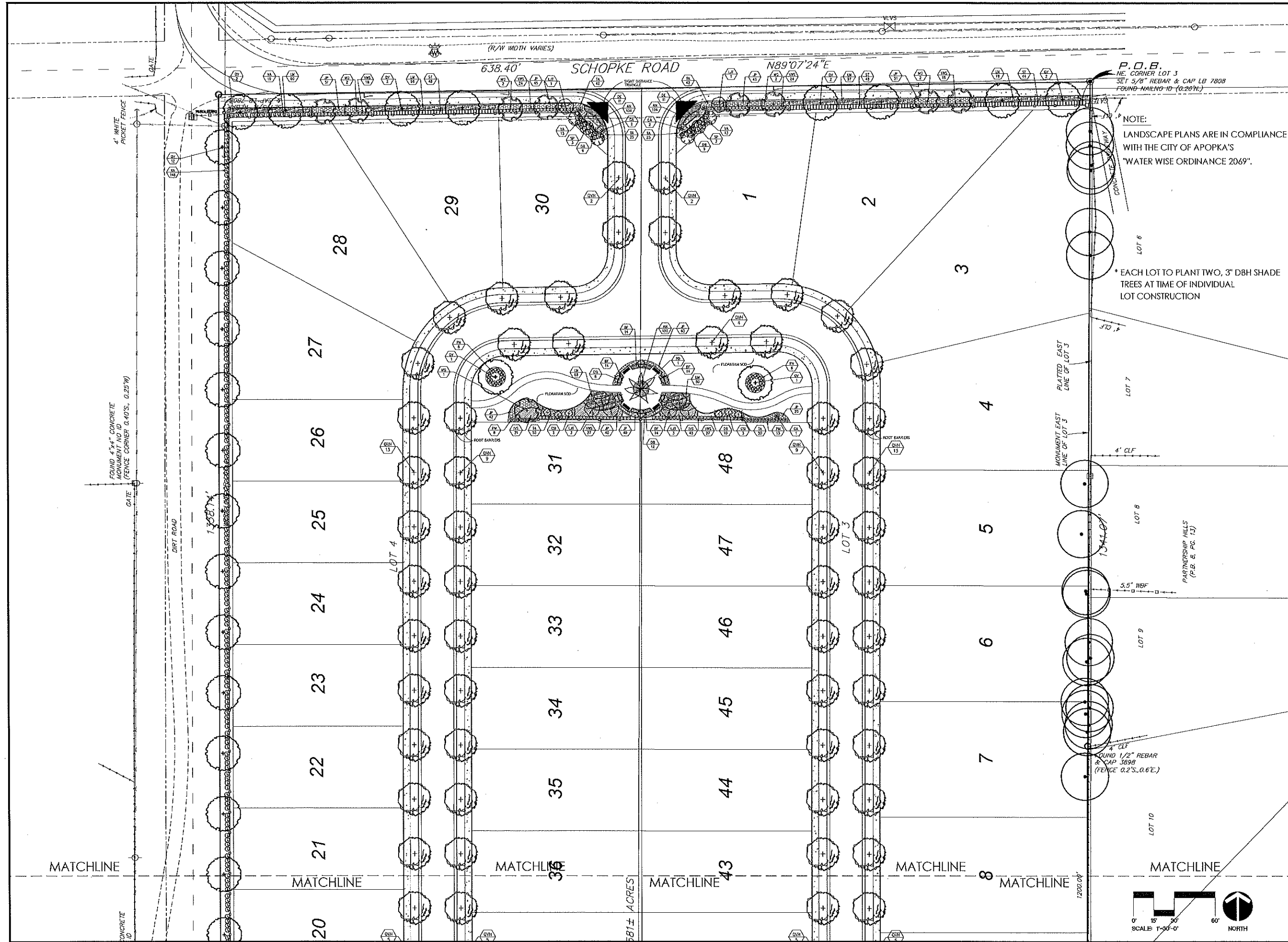
LEGACY HILLS

PROJECT NO. 14-112		PROJECT ADDRESS		DRAWING TITLE	
CONSTRUCTION DOCUMENTS		CITY OF APOPKA, FLORIDA		MASTER KEY PLAN	
SCALE 1"=60'-0"	FILE NAME 14-112	OWNER NAME AND ADDRESS			
DRAWN BY CR	CHECKED BY CR	RE DEVELOPMENT			
DATE 01-29-18					



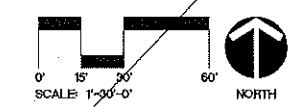
BORRELLI + PARTNERS
Landscape Architecture
3750 WINDY HILLS BLVD
ORLANDO, FL 32839 (407) 418-1138
CONSULTANTS

SIGNATURE AND DATED SEAL



NOTE:
LANDSCAPE PLANS ARE IN COMPLIANCE WITH THE CITY OF APOKA'S "WATER WISE ORDINANCE 2069".

* EACH LOT TO PLANT TWO, 3" DBH SHADE TREES AT TIME OF INDIVIDUAL LOT CONSTRUCTION



BORRELLI + PARTNERS
LANDSCAPE ARCHITECTURE
ORLANDO, FLORIDA
1418 E. 13th Street, Suite 100
Orlando, FL 32809
Tel: 407.241.1111
Fax: 407.241.1112



SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

REV. DESCRIPTION DATE

PROJECT NO. 16112

PHASE CONSTRUCTION/DECLINERS

SCALE AS NOTED 1/8"=1'-0"

FILE NAME L-100

DRAWN BY CDB

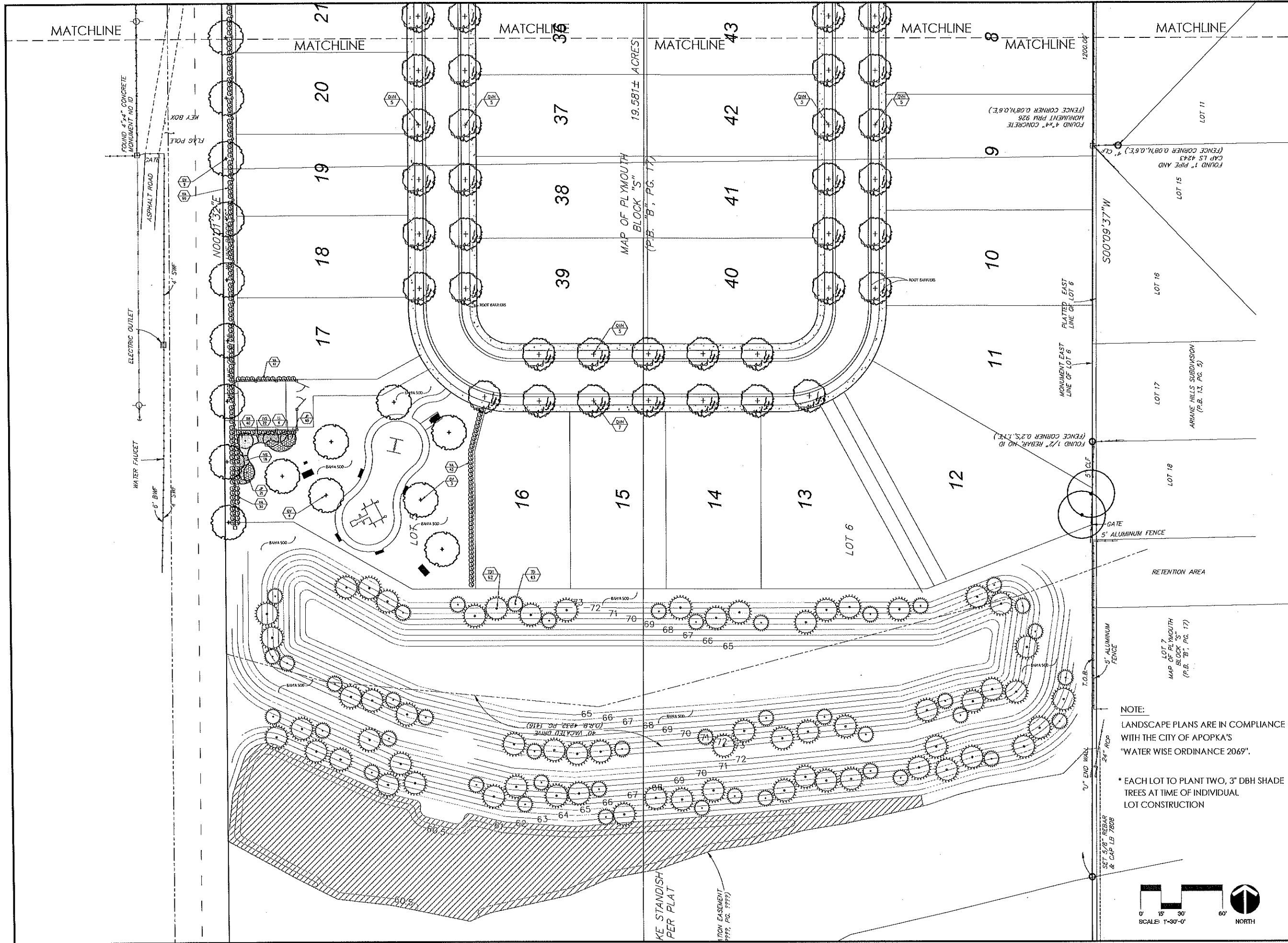
CHECKED BY CDB

DATE 01/26/18

LANDSCAPE PLAN

LEGACY HILLS

L-100

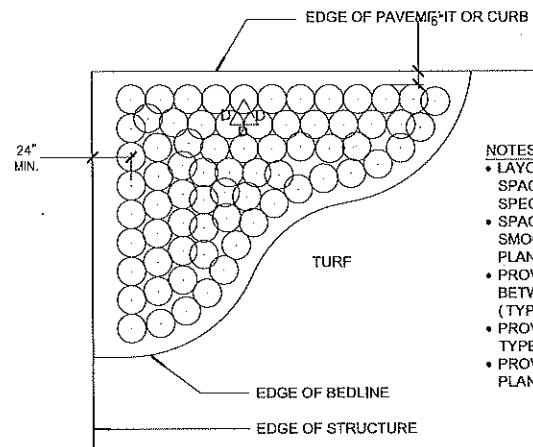


LANDSCAPE PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL MEET OR EXCEED THE REQUIREMENTS FOR FLORIDA NO. 1 QUALITY, AS GRADED IN THE MOST CURRENT EDITION OF FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, PUBLISHED BY THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL PLANTING AREAS SHALL HAVE MULCH A MINIMUM OF 3" IN DEPTH. CYPRESS MULCH SHALL NOT BE USED.
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.

LANDSCAPE CONTRACTOR NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.



- NOTES:**
- LAYOUT PLANTS IN A TRIANGULAR PATTERN AS SHOWN, SPACED EQUALLY FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST) AND IN STRAIGHT ROWS.
 - SPACING MAY BE ADJUSTED SLIGHTLY TO CREATE SMOOTH FLOWING BEDLINES AS SHOWN ON LANDSCAPE PLANS.
 - PROVIDE 6" - 12" UNIFORM CLEARANCE (MULCH STRIP) BETWEEN PLANT FOLIAGE AND EDGE OF BEDLINE (TYP).
 - PROVIDE 12" - 18" SPACING BETWEEN DIFFERENT PLANT TYPES.
 - PROVIDE 24" O.C. MINIMUM BETWEEN FIRST ROW OF PLANT MATERIAL AND ANY STRUCTURE.

SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE

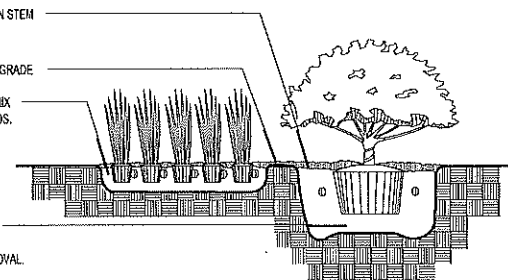
PROVIDE AGRIFORM (20-10-5) FERTILIZER TABLETS AT THE FOLLOWING RATES:
3 GAL./2 TABLETS; 1 GAL./1 TABLET.

PROVIDE 6" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

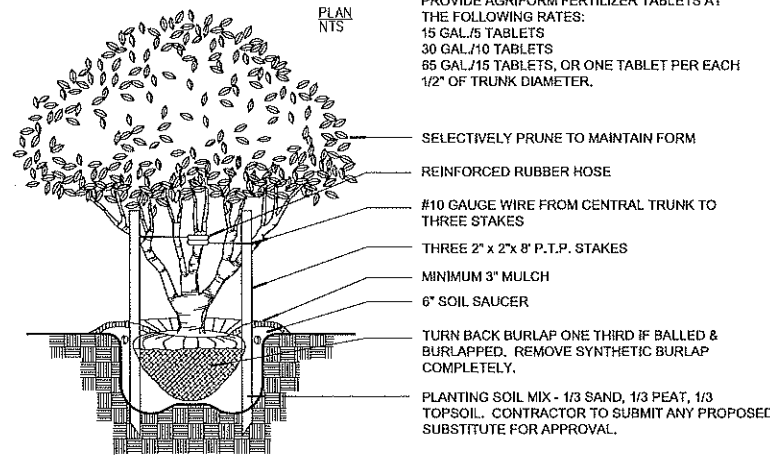
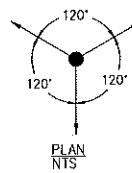
3" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE
12" MINIMUM DEPTH OF PLANTING SOIL MIX IN SHRUB/GROUNDCOVER PLANTING BEDS.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.



SHRUB AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

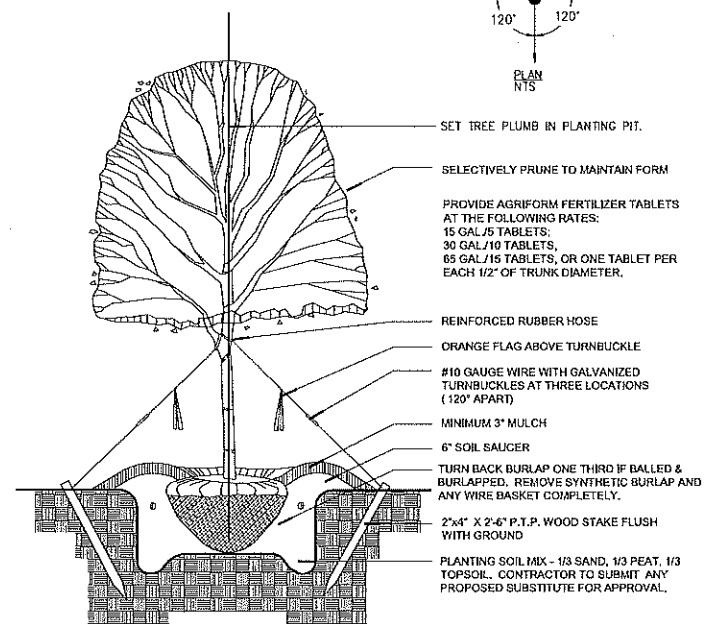


PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
15 GAL./5 TABLETS
30 GAL./10 TABLETS
65 GAL./15 TABLETS, OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

- SELECTIVELY PRUNE TO MAINTAIN FORM
- REINFORCED RUBBER HOSE
- #10 GAUGE WIRE FROM CENTRAL TRUNK TO THREE STAKES
- THREE 2" x 2" x 8' P.T.P. STAKES
- MINIMUM 3" MULCH
- 6" SOIL SAUCER

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE



SET TREE PLUMB IN PLANTING PIT.
SELECTIVELY PRUNE TO MAINTAIN FORM
PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
15 GAL./5 TABLETS
30 GAL./10 TABLETS
65 GAL./15 TABLETS, OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

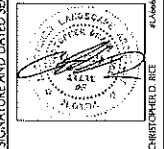
- REINFORCED RUBBER HOSE
- ORANGE FLAG ABOVE TURNBUCKLE
- #10 GAUGE WIRE WITH GALVANIZED TURNBUCKLES AT THREE LOCATIONS (120° APART)
- MINIMUM 3" MULCH
- 6" SOIL SAUCER
- TURN BACK BURLAP ONE THIRD IF BALLED & BURLAPPED. REMOVE SYNTHETIC BURLAP AND ANY WIRE BASKET COMPLETELY.
- 2"x4" X 2'-6" P.T.P. WOOD STAKE FLUSH WITH GROUND
- PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

TREE PLANTING DETAIL
NOT TO SCALE

LANDSCAPE PLANT LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
CSI	12	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	40' HT, 200' HT. / FULL TO GROUND / SPECIMEN FORM	SPACE AS SHOWN GUY
LI	4	LAGERSTROEMIA INDICA 'TUSCARORA'	RED CREPE MYRTLE	10'-12' HT., 4'-5' SPRD., 2" DBH.; MULTI-TRUNKED	SPACE AS SHOWN GUY
LJT	8	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	8' X 8', MULTI-TRUNK, SPECIMEN FORM	SPACE AS SHOWN GUY
MG	9	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	SOUTHERN MAGNOLIA	10'-12' HT. X 4'-5' SPRD.; 3" DBH / FULL / SPECIMEN FORM / 45 GAL. CONT.	SPACE AS SHOWN GUY
PD	1	PHOENIX DACTYLIFERA 'MEDJOL'	MEDJOL DATE PALM	12' CT. STRAIGHT TRUNK; SPECIMEN FORM	SPACE AS SHOWN GUY
QV	38	QUERCUS VIRGINIANA	LIVE OAK	12'-14' HT X 6'-7' SPR., 4" DBH / SPECIMEN FORM 65 GAL. CONT.	SPACE AS SHOWN GUY
QVH	84	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	12'-14' HT X 4'-5' SPR., 4" DBH	SPACE AS SHOWN GUY
SP	6	SABAL PALMETTO	CABBAGE PALM	40'2" CT., 200'5" CT., STRAIGHT TRUNK; SPECIMEN FORM	SPACE AS SHOWN GUY
TD	43	TAXODIUM DISTICHUM	BALD CYPRESS	10'-12' HT.; 4'-5' SPRD.; 3" DBH	SPACE AS SHOWN GUY
TD1	62	TAXODIUM DISTICHUM	BALD CYPRESS	14'-16' HT.; 6'-8' SPRD.; 4" DBH	SPACE AS SHOWN GUY
SHRUBS					
CA	5	CRINUM ASIATICUM	CRINUM LILY	30" HT. X 36" SPRD. / FULL / 150	AS SHOWN
DE	22	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	15" HT. X 15" SPRD. / FULL / 30	24" O.C.
IYS	104	ILEX VOMITORIA 'SCHILLINGS'	DWARF SCHILLINGS HOLLY	15" HT. X 15" SPRD. / FULL / 30	24" O.C.
PM	21	PODOCARPUS MACROPHYLLA 'MAKI'	JAPANESE YEW	42" HT. X 24" SPRD. / FULL / 70	AS SHOWN
PN	16	PHYSCOTRIA NERVOSA	WILD COFFEE	36" HT. X 24" SPRD. / FULL / 70	AS SHOWN
ST	140	SCHEFFLERA ARBORICOLA 'TRINETTE'	DWARF VARIEGATED SCHEFFLERA	24" HT. X 24" SPRD. / FULL / 30	AS SHOWN
VA	371	VIBURNUM ODORATISSIMA 'AWABUKI'	MIRROR-LEAF VIBURNUM	30" HT. X 24" SPRD. / FULL / 30	36" O.C.
VWS	138	VIBURNUM OBOVATUM 'MRS. SCHILLERS DELIGHT'	DWARF WALKER'S VIBURNUM	24" HT. X 24" SPRD., FULL, 3 GAL.	30" O.C.
GROUNDCOVERS					
AN	398	ANNUALS	SEASONAL FLOWERS	8" O.A. FULL; 4" POT	10" O.C.
BF	56	BULBINE FRUTESCENS 'HALLMARK'	TANGERINE BULBINE	15" O.A. / FULL / 1 GAL.	18" O.C.
DB	80	DIETES BICOLOR	YELLOW AFRICAN IRIS	18" HT. X 15" SPRD., FULL, 3 GAL.	24" O.C.
JP	435	JUNIPERUS CHINENSIS 'PARSONI'	PARSON'S JUNIPER	12" HT. X 15" SPRD., FULL, 3 GAL.	24" O.C.
LM	451	LIRIOPE MUSCARI 'EMERALD GODDESS'	BORDER GRASS	12" HT. X 12" SPRD. / FULL / 10	24" O.C.
TA	239	TRACHELOSPERMUM ASIATICUM	DWARF ASIAN JASMINE	4" HT. X 12" SPRD. / FULL / 10	18" O.C.
SOO					
	SEE PLANS	PASPALUM NOTATUM	ARGENTINE BAHIA GRASS	FREE OF PESTS AND DEBRIS	FIELD VERIFY QTY.
	SEE PLANS	STENOTAPHRUM SECUNDATUM 'FLORATAM'	ST. AUGUSTINE GRASS	SOLID, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
MULCH					
	SEE PLANS	PINE BARK MINI-MUGGETS	PINE BARK MINI-MUGGETS	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY.

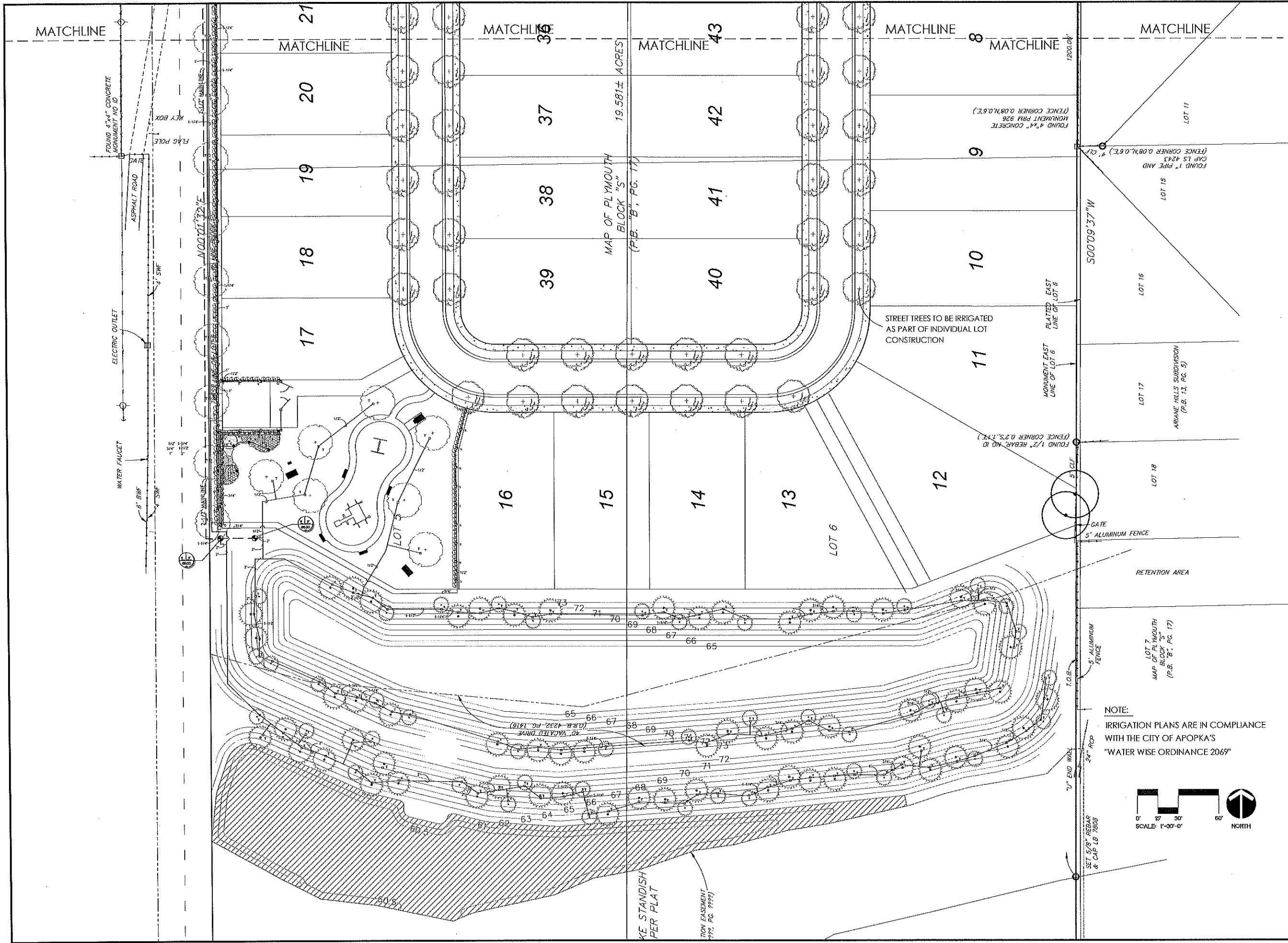
BORRELLI + PARTNERS
Landscape Architecture
1111 N. W. 11th St., Suite 100
Orlando, FL 32806-1407-1111
Tel: 407-253-1111
Fax: 407-253-1112



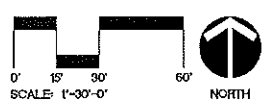
LEGACY HILLS

LANDSCAPE DETAILS AND PLANT LIST

PROJECT NO.	14-112
DATE	01-26-18
SCALE	AS NOTED
FILE NAME	14-112
DRAWN BY	CR
CHECKED BY	JAM
DATE	01-26-18



NOTE:
IRRIGATION PLANS ARE IN COMPLIANCE
WITH THE CITY OF APOPKA'S
"WATER WISE ORDINANCE 2069"



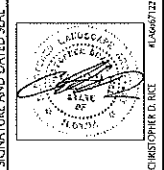
LEGACY HILLS

IRRIGATION PLAN

PROJECT ADDRESS:
CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS:
[REDACTED]

PROJECT NO.	REV.	DESCRIPTION	DATE
14-112		CONSTRUCTION DOCUMENTS	
		SCALE AS NOTED	
		FILE NAME 14-112	
		DRAWN BY CRK	
		CHECKED BY CRK	
		DATE 01-24-18	

I-101



SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

REV. DESCRIPTION DATE

I-101

DATE 01-24-18

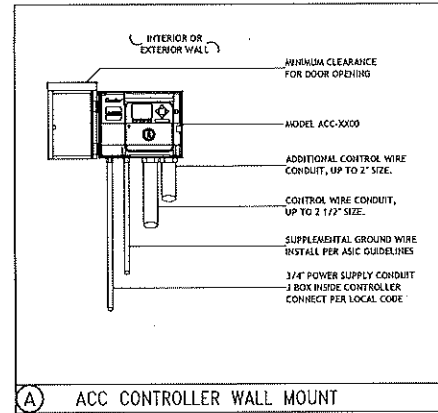
01-24-18

BORRELLI + PARTNERS
LANDSCAPE ARCHITECTS
375 WYCKOFF STREET
ORLANDO, FL 32804 (407) 418-1338
www.borrelli.com

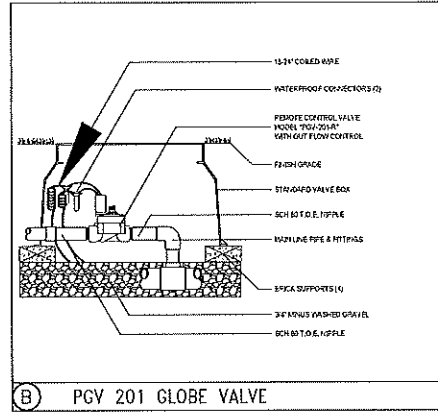


STATE OF FLORIDA
LANDSCAPE ARCHITECTS
CHRISTOPHER D. BEE
LICENSE NO. 14664722

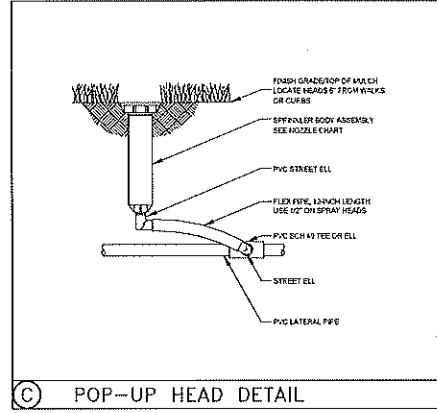
IRRIGATION DETAILS



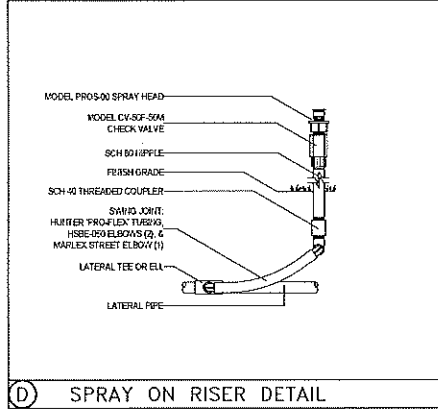
A ACC CONTROLLER WALL MOUNT



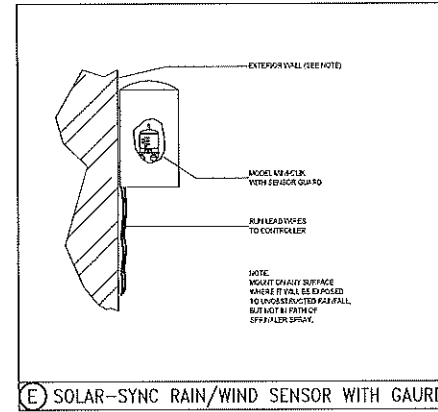
B PGV 201 GLOBE VALVE



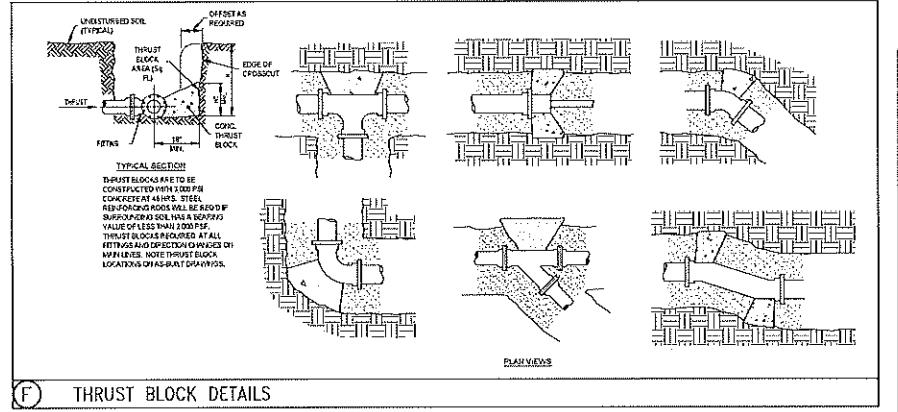
C POP-UP HEAD DETAIL



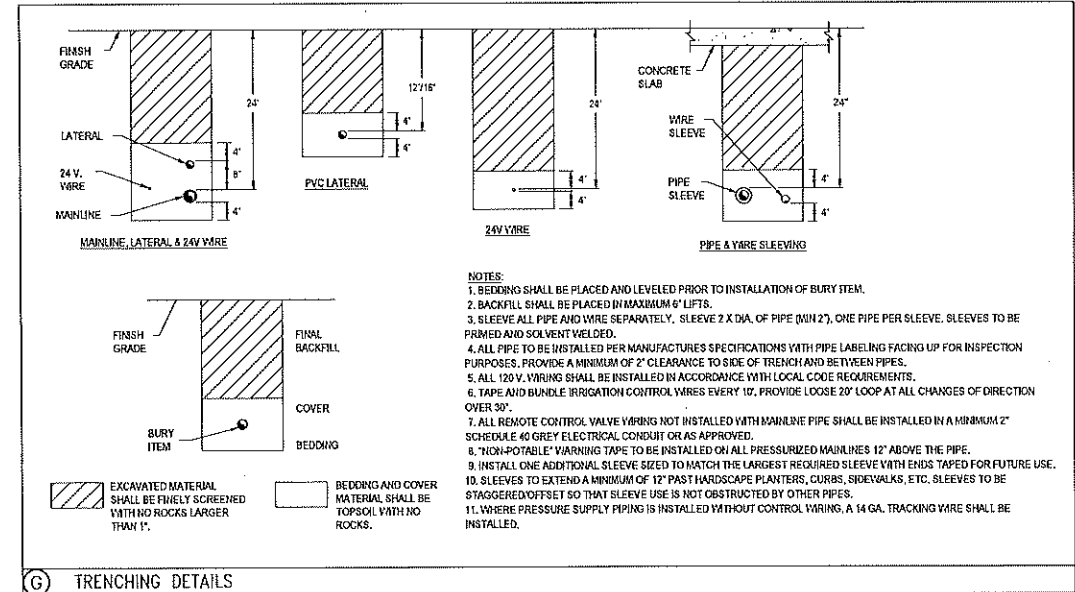
D SPRAY ON RISER DETAIL



E SOLAR-SYNC RAIN/WIND SENSOR WITH GAURD



F THRUST BLOCK DETAILS



G TRENCHING DETAILS

IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FLOODING.
- ABSOLUTELY NO RISERS SHALL BE USED ON THIS PROJECT.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE #14 OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

SPRAY NOZZLE CHART

TYPE	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 6'-15' radius	A	MARCOON	90° ADJUSTABLE ARC	.21
	B	MARCOON	180° ADJUSTABLE ARC	.42
	C	LT. BLUE	210° ADJUSTABLE ARC	.49
	D	LT. BLUE	270° ADJUSTABLE ARC	.63
	E	OLIVE	360° ARC	.84
	F	BLACK	90° ADJUSTABLE ARC	.43
MP2000 13'-21' radius	G	BLACK	180° ADJUSTABLE ARC	.77
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.48
	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
MP3000 22'-30' radius	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5x15' LEFT STRIP	.22
	R	COPPER	5x15' RIGHT STRIP	.22
STRIPS & CORNERS	S	BROWN	5x30' SIDE STRIP	.44
	T	PCN10	0.50 GPM FLOOD BUBBLER	.50
	U	PCN50	1.00 GPM FLOOD BUBBLER	1.00
BUBBLERS AND MICRO-SPRAYS	V	SR-4Q	90° 4" RADIUS	.22
	W	SR-4H	180° 4" RADIUS	.44
	AA	ORANGE	90° ADJUSTABLE ARC	.23
	AB	ORANGE	180° ADJUSTABLE ARC	.42
MP800 6'-12' radius	CC	ORANGE	210° ADJUSTABLE ARC	.43
	DD	GREEN	360° ARC	.78

SYMBOL	DESCRIPTION	QUANTITIES
■	4" BUBBLER SPRAY - HUNTER IND. 'PROS-04-PRS40' BODY W/ PCN-10 NOZZLES	163
●	12" POP-UP SPRAY - HUNTER IND. 'PROS-12-PRS40' BODY W/MP800 NOZZLES	14
○	6" POP-UP SPRAY - HUNTER IND. 'PROS-06-PRS40' BODY W/MP1000 NOZZLES	109
●	12" POP-UP SPRAY - HUNTER IND. 'PROS-12-PRS40' BODY W/MP1000 NOZZLES	57
●	4" POP-UP SPRAY - HUNTER IND. 'PROS-4-PRS40' BODY W/MP1000 NOZZLES	114
□	6" POP-UP SPRAY - HUNTER IND. 'PROS-06-PRS40' BODY WITH MP2000 NOZZLES	19
⊕	HUNTER 'CV-FS-AS-40' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1" + 2"	6
⊕	HUNTER ICC2 CONTROLLER, '12C-800-PP WITH ICM-800 AND ICM-2200 MODULES. INSTALL WITH A SOLAR-SYNC SENSOR AND BY-PASS BOX. GROUND WITH AN 8' COPPER CLAD ROD.	1
⊕	HUNTER SOLAR-SYNC SENSOR	1
■	2" IRRIGATION REUSE METER TO PROVIDE 80 GPM AT 50 PSI	1 (BY OWNER)
⊕	2-1/2" IRRIGATION GATE VALVE	1
—	LATERAL LINE - SCH 40 PVC - SIZE PER PLAN	SEE PLAN
—	2-1/2" MAINLINE - SCH 40 PVC SIZE PER PLAN	SEE PLAN
▨	SLEEVING - SCH. 40 PVC MIN. DEPTH OF 24"	SEE PLAN

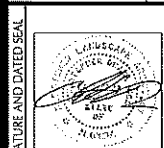
WATERING SCHEDULE

ZONE #	WATER TYPE	WATERING TIME	GAL. PER MINUTE	GAL. PER WATERING	PRECIP. IN INCHES
1	SHRUBS	20 MIN.	44.39 GPM	887.80 GPW	0.43"
2	BUBBLERS	15 MIN.	30.00 GPM	450.00 GPW	0.43"
3	GRASS	60 MIN.	59.40 GPM	3,564.0 GPW	0.45"
4	SHRUBS	20 MIN.	38.59 GPM	771.80 GPW	0.43"
5	BUBBLER	15 MIN.	69.00 GPM	1,035.0 GPW	0.43"
6	BUBBLER	15 MIN.	66.00 GPM	990.00 GPW	0.43"
TOTAL			2 HRS-25 MIN.	307.38 GPM	7,668.6 GPW

WATERING SCHEDULE & USAGE CALCULATIONS	15,337.20 GAL / WEEK - SUMMER (MAR 15-OCT 14 (2 TIMES /WEEK))
	7,668.60 GAL / WEEK - WINTER (OCT 15-MAR 14 (1 TIME/WEEK))
	598,150.80 GAL / YEAR (78 WATERINGS PER YEAR)
	418,705.56 GAL / YEAR W/ 30% REDUCTION FOR SOLAR-SYNC

**ZONE RUN TIMES SHOWN ARE FOR AFTER PLANT ESTABLISHMENT PERIOD (90 DAYS).

BORRELLI + PARTNERS
 Landscape Architecture
 3333 N.W. 11th Street, Suite 100
 Orlando, FL 32804-1007
 407.438.1138
 www.borrelli.com



LEGACY HILLS

IRRIGATION DETAILS

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

CITY OF WOPKA, FLORIDA

OWNER NAME AND ADDRESS

REV. DESCRIPTION DATE

PHASE CONSTRUCTION DOCUMENTS

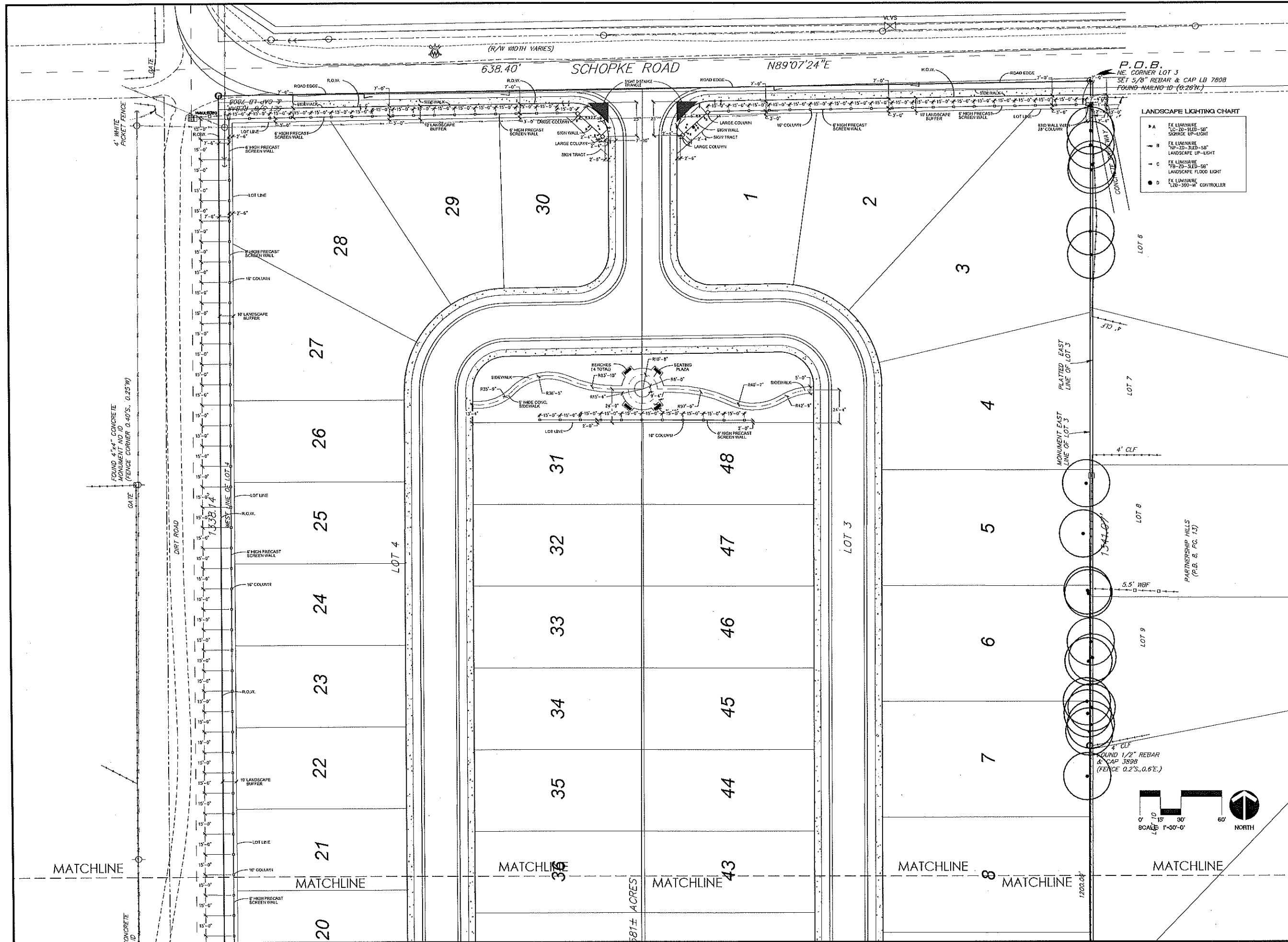
SCALE AS NOTED

FILE NAME 14-112

DRAWN BY CDR

CHECKED BY CDR

DATE 01-26-18



LANDSCAPE LIGHTING CHART

- A FX LUMINAIRE "LS-20-9LED-SB" SIDEWALK UP-LIGHT
- B FX LUMINAIRE "TP-2D-3LED-SB" LANDSCAPE UP-LIGHT
- C FX LUMINAIRE "TB-2D-3LED-SB" LANDSCAPE FLOOD LIGHT
- D FX LUMINAIRE "L20-300-W" CONTROLLER

LEGACY HILLS

HARDSCAPE PLAN

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

CITY OF MIAMI, FLORIDA
OWNER NAME AND ADDRESS
BLENDAVONIST

PROJECT NO.	REV.	DESCRIPTION	DATE
14112			

PHASE: CONSTRUCTION DOCUMENTS

SCALE: AS NOTED

FILE NAME: 14112

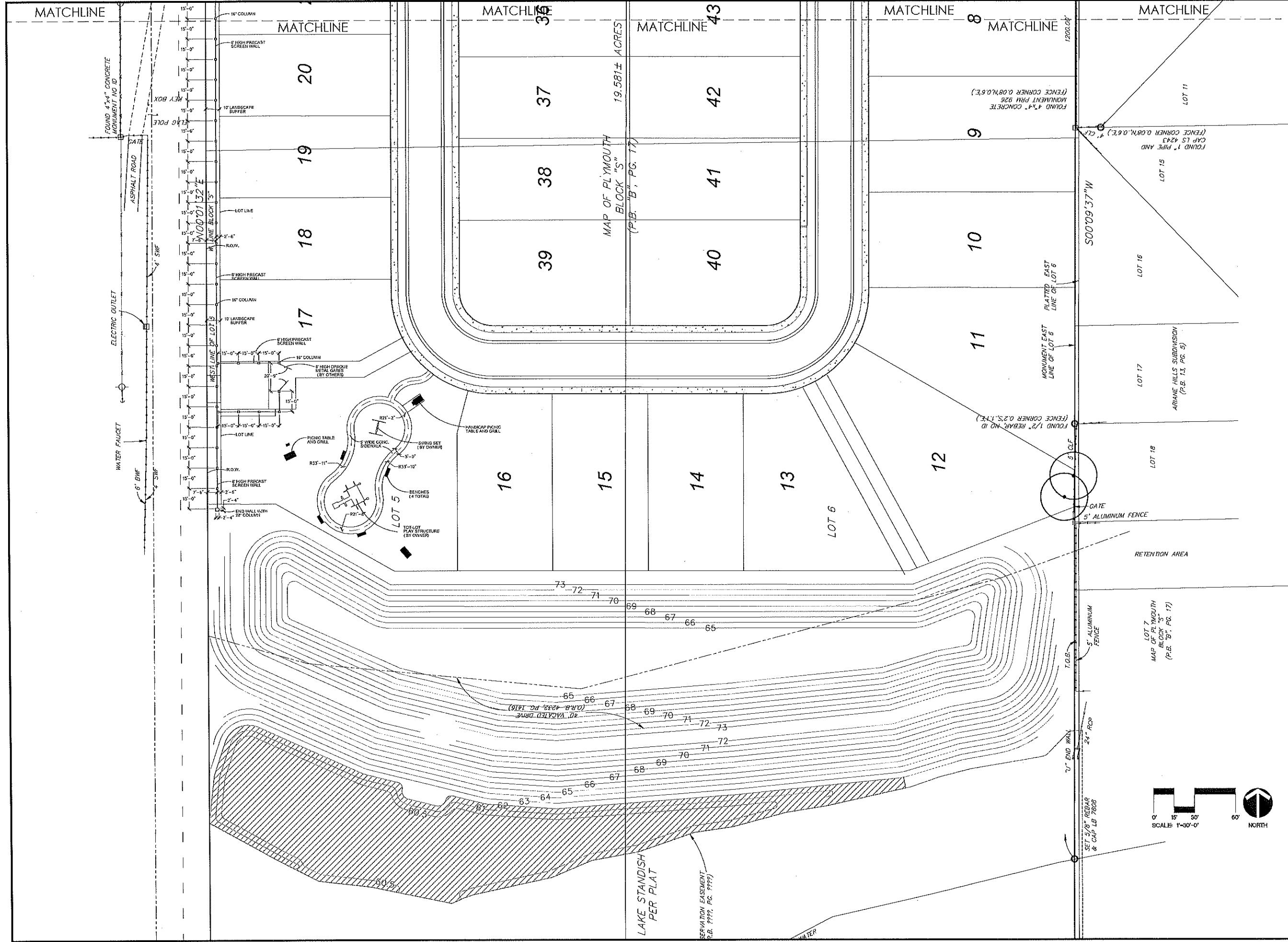
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CHECKED BY: CR

DATE: 01-26-18

H-100

BORRELLI + PARTNERS
220 VASSAR STREET
ORLANDO, FLORIDA 32801
407.251.1318
LANDSCAPE ARCHITECTURE
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF FLORIDA LICENSE NO. 14112
CIRCULAR SEAL
4/16/2018



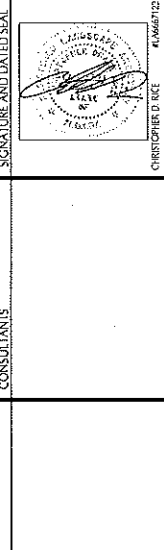
LEGACY HILLS

PROJECT NO. 14-112		REV. 1	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	CONSULTANTS	SIGNATURE AND DATED SEAL
PHASE	CONSTRUCTION DOCUMENTS							
SCALE	AS NOTED							
FILE NAME	14-112				CITY OF HOUMA, LOUISIANA			
DRAWN BY	CR				OWNER NAME AND ADDRESS			
CHECKED BY	CR				DEVELOPMENT			
DATE	01-24-15							

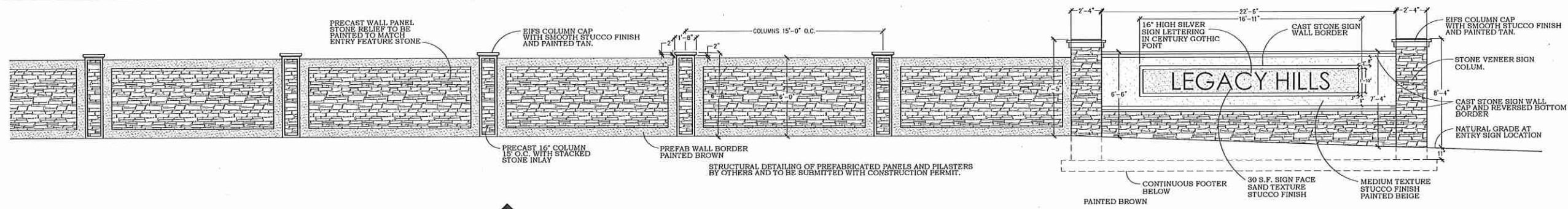


H-101

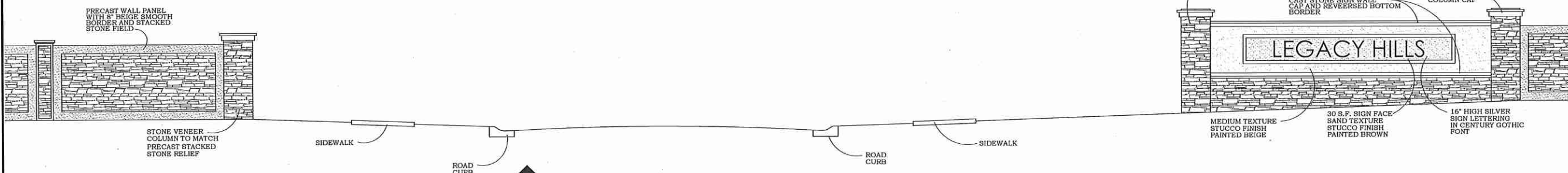
HARDSCAPE PLAN



BORELLI + PARTNERS
 ARCHITECTURE PLANNING LANDSCAPE INTERIOR
 1000 PINE ST. SUITE 1100
 ORLANDO, FL 32801
 P. 407.321.1133
 F. 407.321.1134
 www.borelli.com



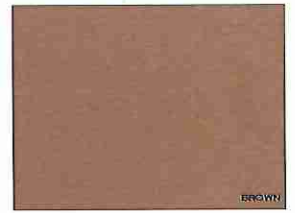
A ROAD FRONTAGE WALL, COLUMNS AND ENTRY SIGN - WEST SIDE
SCALE: 1/4"=1'-0"



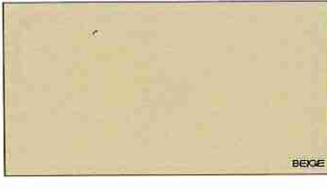
B ROAD FRONTAGE WALL, COLUMNS AND ENTRY SIGN - EAST SIDE
SCALE: 1/4"=1'-0"



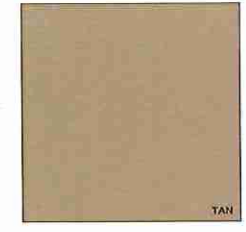
STACKED STONE COLOR



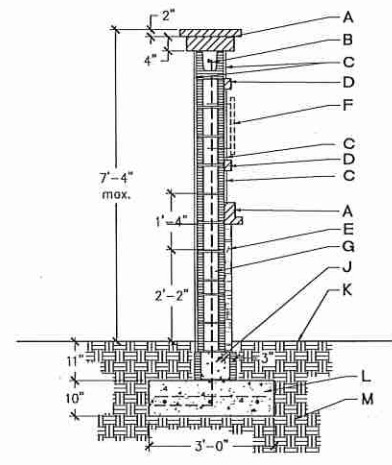
PREFAB WALL BORDER AND SIGN FACE COLOR



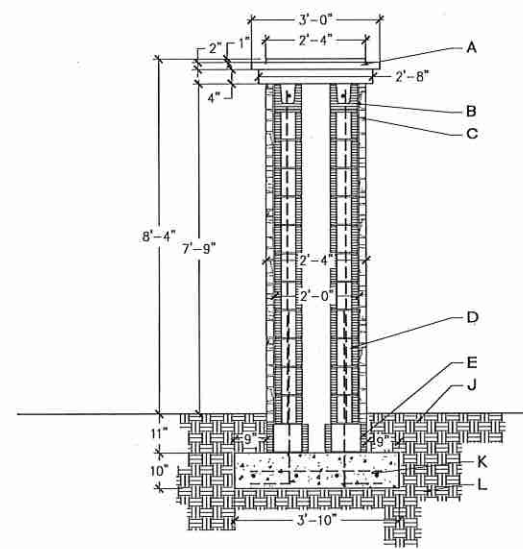
SIGN WALL COLOR



CAPS AND TRIM COLOR



- NOTES**
- A. PRECAST STONE WALL CAP AND BASE BORDER TRIM. ATTACH TO WALL UTILIZING RAKED MORTAR BED AND TRUSS TIES.
 - B. 8"x8"x16" CMU LINTEL BLOCK WITH (1) #5 RE-BAR CONT. FILL ALL CELLS WITH MORTAR.
 - C. APPLY MIN. 5/8" THICK STUCCO IN MEDIUM FINISH TO WALL AS SHOWN. PAINT COLOR BY OWNER.
 - D. 3" SQUARE CAST STONE SIGN TRIM. COLOR MATCH ALL WALL DETAILING AND COLUMN CAPS.
 - E. ATTACH 3" THICK STACKED STONE VENEER SIGN WALL UTILIZING TRUSS TIES AND MORTAR. STONE TYPE TO BE "XX" BY J&N STONE IN XX COLOR.
 - F. 16" HIGH RAISED SIGN LETTERING IN CENTURY GOTHIC FONT - ATTACH TO WALL UTILIZING PIN MOUNTS.
 - G. 7'-4" HIGH, 8"x8"x16" CMU BLOCK SIGN WALL WITH (1) #5 RE-BAR VERTICAL @ 32" O.C. AND END CONDITIONS. FILL CELLS WITH MORTAR.
 - J. 12"x8"x16" CMU STEM WALL. FILL ALL CELLS WITH CONCRETE. ALLOW 4 DAYS FOR CONCRETE TO CURE PRIOR TO WALL CONSTRUCTION.
 - K. FINISH GRADE.
 - L. 10" THICK x 3'-0" WIDE 3,000 P.S.I. CONCRETE FOOTER W/ (3) #5 RE-BAR CONTINUOUS AND 1-#5 LAP BAR EVERY 24" O.C. AS SHOWN. PROVIDE (1) #5 VERT. RE-BAR @ 32" O.C. AND END CONDITIONS.
 - M. CLEAN BACKFILL COMPACTED TO 95% PROCTOR DENSITY.



- NOTES**
- A. EIFS COLUMN CAP. ATTACH TO COLUMN UTILIZING RAKED MORTAR BED.
 - B. 8"x8"x16" CMU LINTEL BLOCK WITH (1) #5 RE-BAR CONT.
 - C. ATTACH 2" THICK STONE VENEER WITH TRUSS TIES AND MORTAR. STYLE TO BE "STACKSTONE" IN BUCKS CREEK SAGE COLOR BY J&N STONE OR APPROVED EQUAL.
 - D. 2'-0" SQUARE 8"x8"x16" CMU BLOCK COLUMN WITH (1) #5 RE-BAR VERTICAL AT EACH CORNER. FILL CELLS WITH CONC.
 - E. 8"x12"x16" CMU STEM WALL. FILL ALL CELLS WITH CONCRETE.
 - J. FINISH GRADE
 - K. 10" THICK x 3'-10" SQUARE 3,000 P.S.I. CONCRETE FOOTER W/ (4) #5 RE-BAR IN EACH DIRECTION AS SHOWN. PROVIDE (1) #5 VERT. RE-BAR IN EACH CORNER.
 - L. CLEAN BACKFILL COMPACTED TO 95% PROCTOR DENSITY.

C WALL COLORS
NOT TO SCALE

D SIGNLE SIDED ENTRY SIGN WALL
SCALE: 1/2"=1'-0"

E ENTRY SIGN WALL COLUMN
SCALE: 1/2"=1'-0"



LEGACY HILLS

HARDSCAPE ELEVATIONS AND DETAILS

REV.	DESCRIPTION	DATE	PROJECT ADDRESS
16-12	CONSTRUCTION DOCUMENTS	AS NOTED	CITY OF WOPKA, FLORIDA
16-12			OWNER NAME AND ADDRESS
			DEVELOPMENT

H-102

re•new•al church

Development Site Plan

Revisions

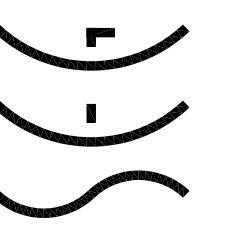
renewal church
2335 Appy Lane
Apopka, Florida

Zoning Exception Submittal - 6/11/2018

Project

Engineer of Record

SABISTON ENGINEERING GROUP, INC.
322 KENTUCKY BLUE CIRCLE, APOPKA, FL 32712
P: 407.884.6769 F: 407.884.6764
WWW.SABISTONENGINEERING.COM
STATE OF FLORIDA CERTIFICATE NO. 9811
SEG PROJECT NO. 18003

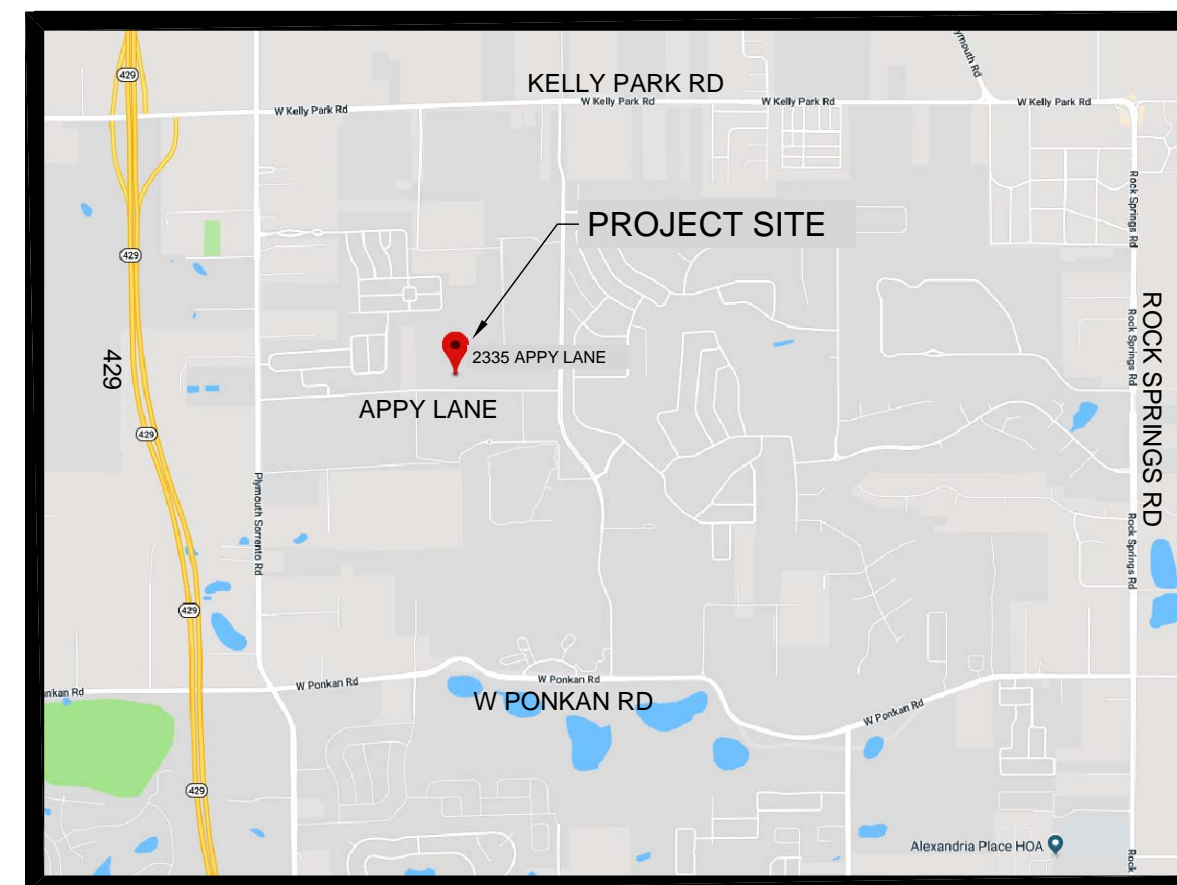


Sheet Title

Number

Board Members

- Mr. Jason Henderson, Pastor
- Mr. Adrian Alvarez
- Mr. Jorge Arce
- Mr. Bill Arrowsmith
- Mr. Matthew Owen
- Mr. Robbie Redder
- Mr. Don Sabiston
- Mr. Mike Tolson



PROJECT ADDRESS :
2335 Appy Lane
Apopka, FL 32712



LOCATION MAP 

Drawing Index	
Sheet	Title
	COVER SHEET
	BOUNDARY SURVEY
DS-1	DEVELOPMENT SITE PLAN

OWNER :
Donald Sabiston
322 Kentucky Blue Circle
Apopka, FL 32712
Phone: 407-884-6769

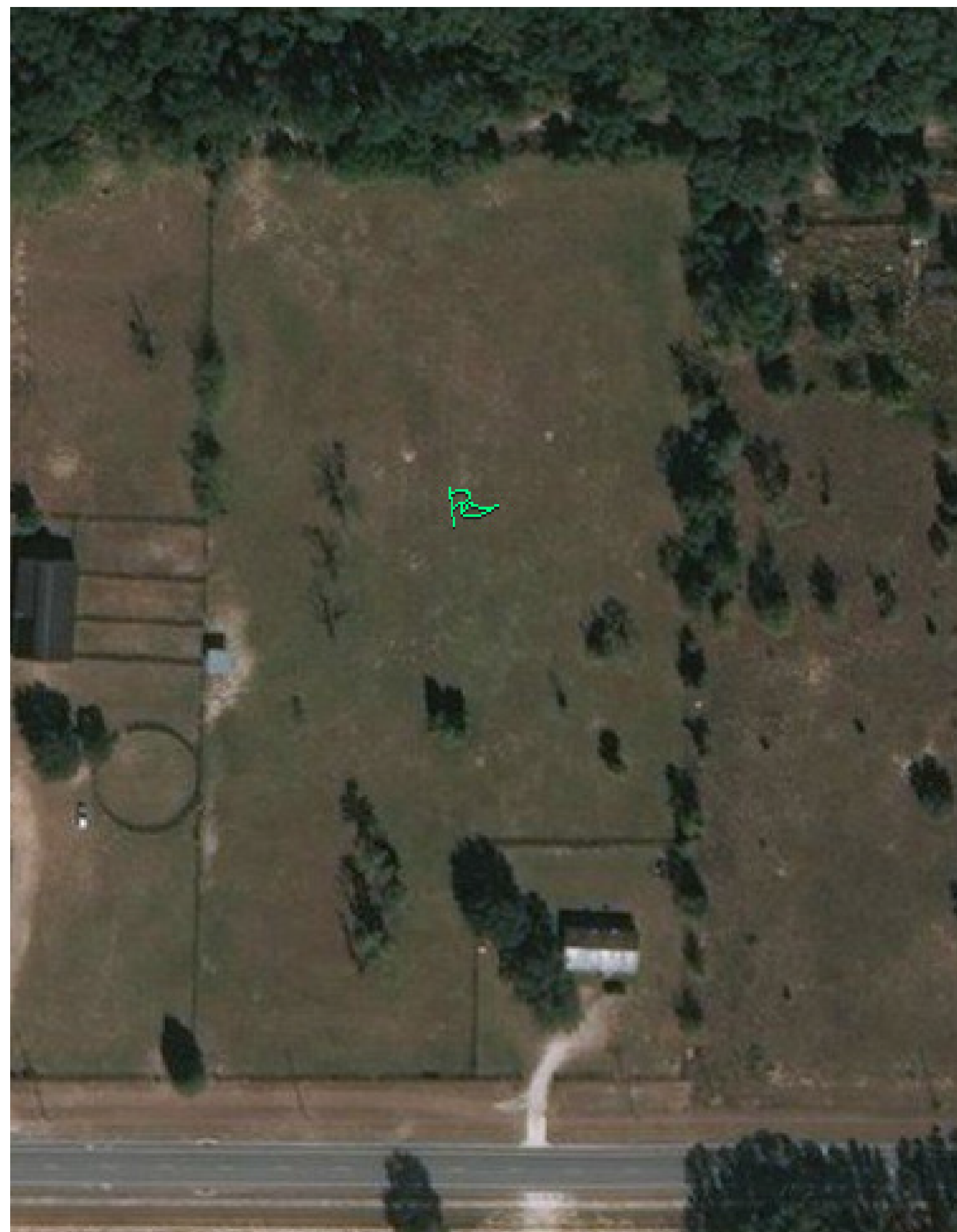
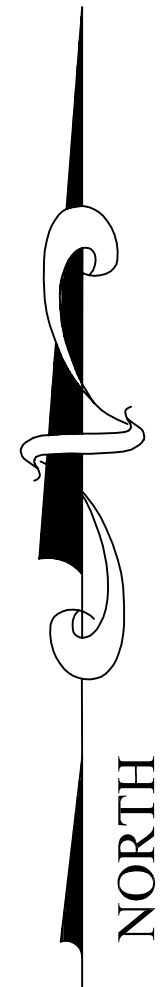
APPLICANT :
Donald Sabiston
322 Kentucky Blue Circle
Apopka, FL 32712
Phone: 407-884-6769

Zoning Exception Submittal - 6/11/2018

Consultants

AERIAL VIEW

BOUNDARY SURVEY



Legal Description:

East 1/2 of the East 1/2 of the South 1/2 of the Southwest 1/4 of the Southeast 1/4 of Section 18, Township 20 South, Range 28 East, Orange County, Florida. Together with an easement of ingress and egress upon, over and through the North 15 feet of the Northwest 1/4 of the Northeast 1/4 of the Northwest 1/4 of Section 19, Township 20 South, Range 28 East, Orange County, Florida. Together with that certain 2000 mobile homes, Make WAVE, with VIN #: FLFLX70A27441WC21 and ID #: FLFLX70B27441WC21; along with Title #: 79638544 and Title #: 79638508

PROPERTY ADDRESS: 2335 APPY LANE - APOPKA, FLORIDA 32712

Legal Description:

SEE ABOVE

CERTIFIED TO:
DON SABISTON
(EXCLUSIVELY)

CLIENT NO: N/A
JOB NO: 28443
FIELD DATE: 04/25/18
APPROVED BY: AER
CHECKED BY: AER
DRAWN BY: GS
DRAWN DATE: 04/26/18

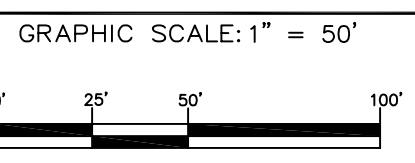
I hereby certify that the survey of the herein described property was prepared under my direct supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.050 through 5J-17.053, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.



DATE	REVISION	DATE	REVISION



LIST OF POSSIBLE ENCROACHMENTS:



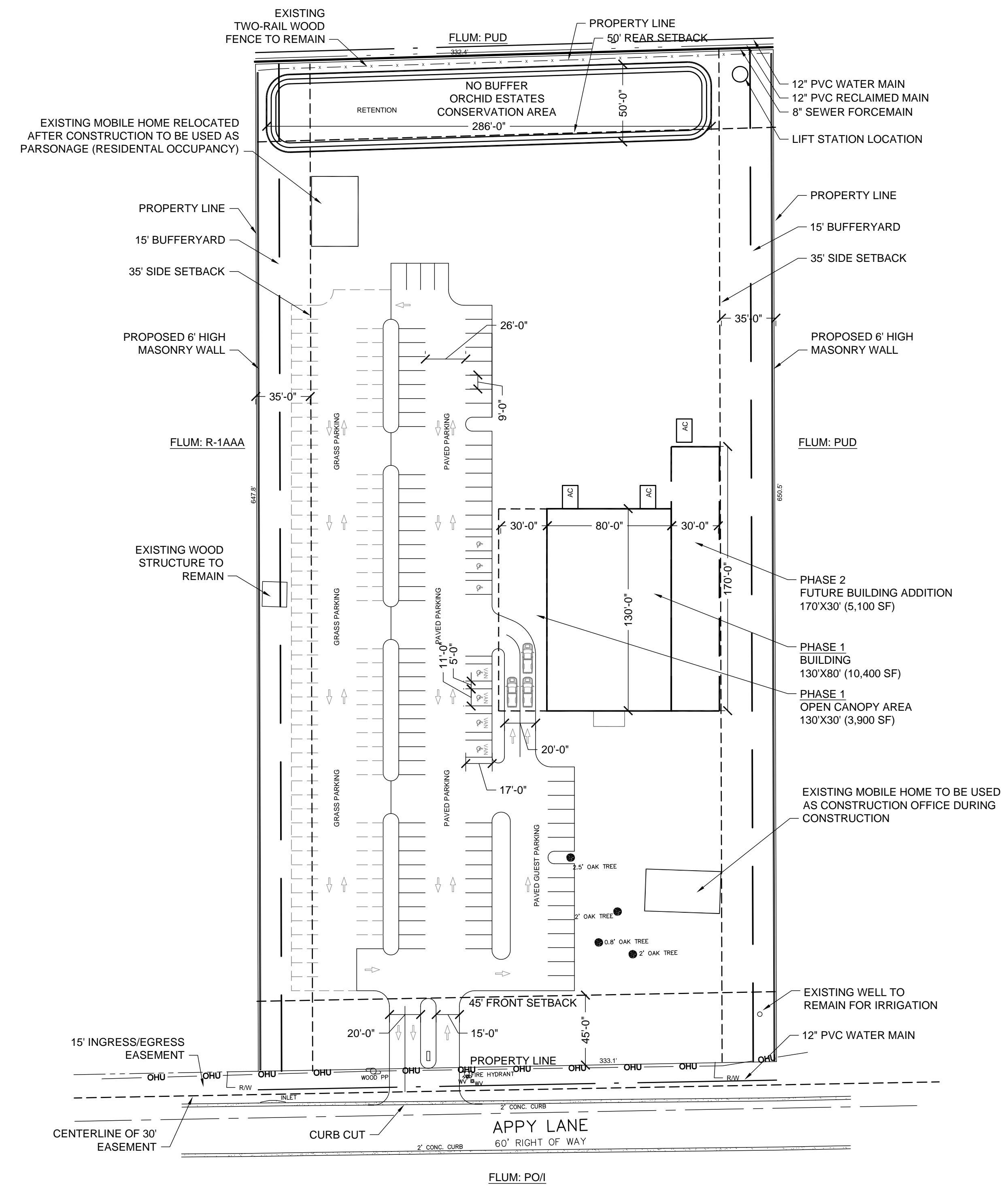
FLOOD ZONE
(FOR INFORMATIONAL PURPOSES ONLY)
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN ZONE X, AREA OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.L.C.M. MAP NUMBER 12050C101E, DATED 09/25/2009. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

SURVEYOR'S NOTES
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR THIS INSURANCE. LEGAL DESCRIPTION PROVIDED BY OTHERS. UNLESS SHOWN, UNDERGROUND UTILITIES, ENCROACHMENTS AND/OR SURFACE STRUCTURES WERE NOT LOCATED BY THIS SURVEY. BEARINGS ARE BASED ON THE NORTHERLY POINT OF 1/4 CORNER OF THE PLANNED LOTS, UNLESS NOTED OTHERWISE. THE PLANNED LOTS ARE FOR USE IN OBTAINING TITLE INSURANCE AND TRAILING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES. A FENCE OWNERSHIP NOT DETERMINED.
THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDING PURPOSES THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY.

- x = SPOT ELEVATIONS
- NOTE: - THE DISTANCE BETWEEN SEPTIC TANK AND WELL IS 123.2'.
- P.I.D. # = PARCEL IDENTIFICATION NUMBER
- = WOOD
- = ASPHALT
- = BRICK/PAVER/TILE
- = CONCRETE

- SITE BENCHMARK #1:
TOP OF IRON ROD AT THE S.E. PROPERTY CORNER
ELEVATION = 99.76'
- SITE BENCHMARK #2:
TOP OF IRON ROD AT THE S.W. PROPERTY CORNER
ELEVATION = 98.36'

SURVEYOR'S NOTE:
ELEVATIONS SHOWN HEREON ARE BASED ON THE FLORIDA F.D.O.T. GPS NETWORK WITH A PUBLISHED ELEVATION DATUM OF NORTH AMERICAN VERTICAL DATUM DATED 1988



SITE DEVELOPMENT PLAN
SCALE: 1" = 50'

Site Data Table		
Address	2335 Appy Lane	
Total Land Area	4,969 Acres m/l	
Section/Township/Range	18-20-28	
Parcel ID	18-20-28-0000-00-112	
Future Land Use	Res. Estates	
Current Zoning	AG-E	
Proposed Zoning	AG-E	
Proposed Use	7100 - Religious	
Maximum Building Height	35'	
People Calculations	Phase 1	Phase 2
Sq Ft (Under Air)	10,400	15,500
Attendee Seating Provided	248	475
Workers (1:20 attendees)	12	25
Total Onsite (Attendees + Workers)	260	500
Parking Calculations		
Parking Required (1:3 total onsite)	167	
Total Parking Spaces Provided	167	
Parking Provided (Paved)	84	
Parking Provided (Grass)	83	
Accessible Parking		
Total Required	6	
Total Provided	7	
Van Accessible Required	1	
Van Accessible Provided	4	

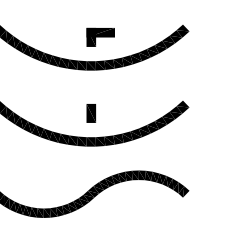
Zoning Exception Submittal - 6/11/2018

Revisions

Project

Engineer of Record

SABISTON ENGINEERING GROUP, INC.
 322 KENTUCKY BLUE CIRCLE, APOPKA, FL 32718
 P: 407.884.5755 F: 407.884.5764
 WWW.SABISTONENGINEERING.COM
 STATE OF FLORIDA CERTIFICATE NO. 9811
 SEG PROJECT NO. 18003

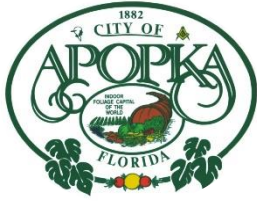


Sheet Title
DEVELOPMENT SITE PLAN

Number

DS-1

renewal church
 2335 Appy Lane
 Apopka, Florida



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Special Exception

MEETING OF: June 26, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Special Exception Site Plan

SUBJECT: SPECIAL EXCEPTION – RENEWAL CHURCH

REQUEST: APPROVE THE SPECIAL EXCEPTION TO ALLOW A PLACE OF WORSHIP WITHIN A PROPERTY ASSIGNED AN AGRICULTURE ESTATES ZONING CATEGORY.

SUMMARY:

OWNER/APPLICANT: Donald J. Sabiston
LOCATION: 2335 Appy Lane
Parcel ID Number: 18-20-28-0000-00-112
LAND USE: Residential Very Low Suburban
ZONING: Agriculture-Estates (AG-E)
EXISTING USE: Vacant, with a mobile home and wood shed.
PROPOSED USE: Place of Worship
TRACT SIZE: 4.96 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: Within the AG-E (Agriculture Estates) zoning category, a place of worship is a use that requires an approved Special Exception. The proposed place of worship is intended to be constructed in two phases. Phase 1 calls for a 10,400 sq. ft. building, with a 248 seating capacity, and 12 employees. Phase 2 results in a total building square footage of 15,500 sq. ft., a total seating capacity of 475, and a total of 25 employees. The Parking Area is planned to be constructed, in its entirety, during the construction of Phase 1.

The property is presently assigned a Future Land Use Designation of “Residential Very Low Suburban”. Institutional Uses, of five acres or less, are allowed as a Special Exception in the Comprehensive Plan, per Policy 3.1.C.

A. Relationship to Adjacent Properties: Zoning and existing land use assigned to adjacent and nearby properties appears in the attached exhibits. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Very Low Suburban	PUD	Woodlands/HOA Tract
East (City)	Residential Very Low Suburban	PUD	Vacant Lands & 1 Single Family Home
South (City)	Residential Very Low Suburban & Institutional/Public Use	PO/I	Northwest Recreation Fields
West (City)	Residential Very Low Suburban	AG-E	Single Family Houses

B. Special Exception Distance Separation Standard. “All special exception uses shall be located a minimum of 1,000 feet from any other existing like use in non-residential districts, and 1,500 feet in residential districts.” (Article II, Section 2.00.00, 5. Special Exceptions. B1). The proposed place of worship is more than 1,500 feet from any other place of worship.

C. Special Exception Development Standards. Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties. After review of the Development Plan for the Special Exception, staff finds that the applicant has met the intent of the regulations stated in Article II, Section 2.02.01 General, (5), Special Exceptions.

The parking requirement for this use is one space for each 3 fixed seats provided for patron use, plus 1 space per employee. With 167 parking spaces depicted on the development plan, the applicant meets the requirement for off-street parking.

15 feet wide buffer yards have been provided on the western and eastern boundary lines, with a 6 feet tall masonry wall in the buffer yards. The west and east adjacent lands are currently used, or zoned for, residential development. While a buffer yard and wall were not provided on the northern boundary, the proposed conditions of this development, as well as the existing conditions of the north-adjacent parcel, counter the need for a buffer yard and wall. The northern area of the subject property is planned to have a conservation area with a depth longer than 50 feet. The north-adjacent parcel is a heavily wooded HOA tract belonging to the Orchid Estates Subdivision.

A lighting plan, landscape plan, sign plan, and architectural elevations will be provided during the Site Plan Approval Process (i.e. Preliminary Development Plan and/or Final Development Plan).

D. Special Exception Conditions of Use.

1. Day Cares or Schools functioning as a primary use (Monday through Friday) will require an amendment to the Special Exception.
2. This Special Exception authorization expires if (a) the applicant fails to obtain a certificate of occupancy or a business tax receipt within five years from the date of the Special Exception approval; and (b) the Special Exception Use has vacated the parcel for more than 180 consecutive days.

DULY ADVERTISED:

June 8, 2018 - Public Hearing Notice

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval for a Special Exception to allow a place of worship within the AG-E zoning district subject to the special exception conditions within the Staff Report.

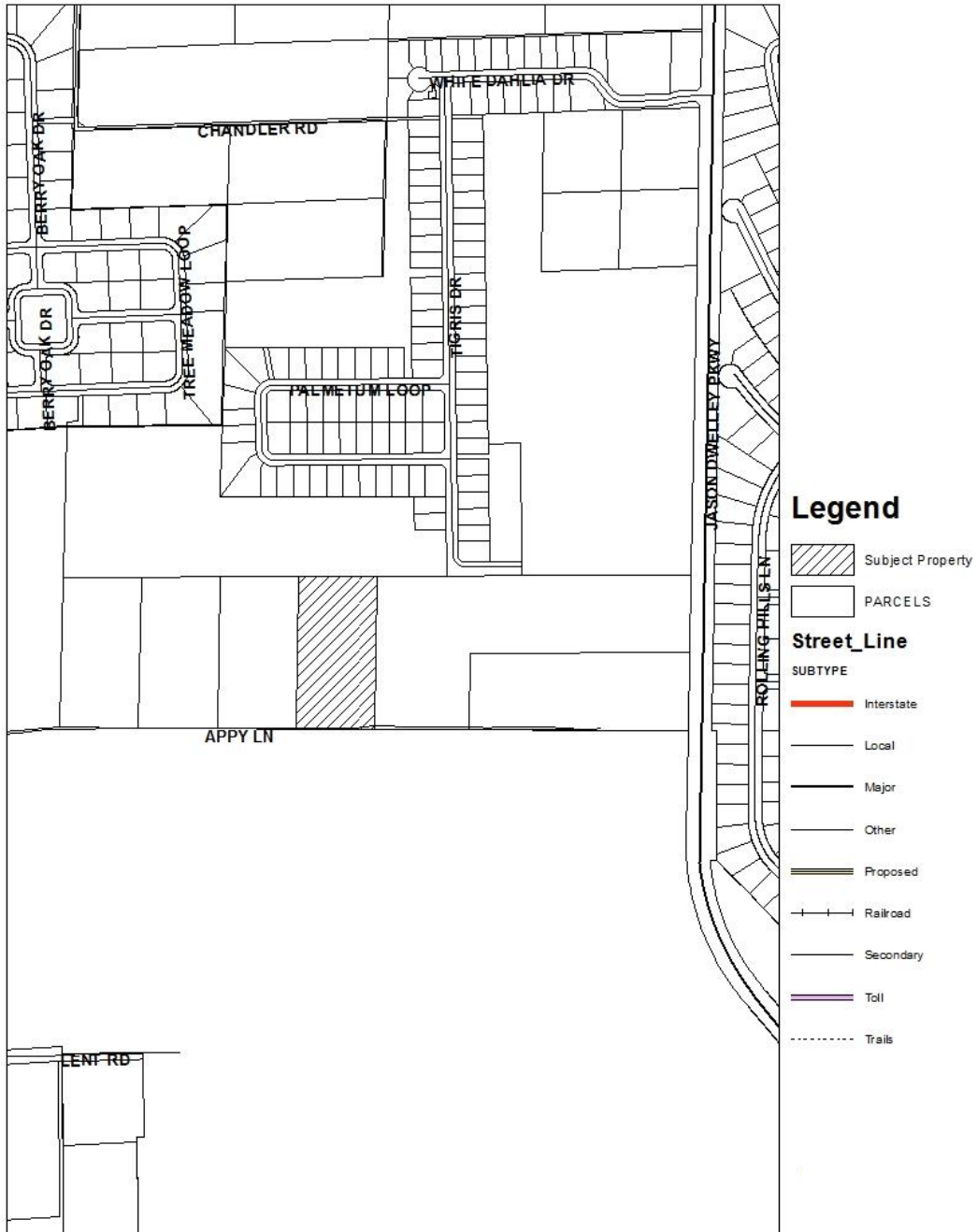
Recommended Motion: Approve a Special Exception to allow a place of worship, subject to the Special Exception Conditions of Use, at 2335 Appy Lane.

Planning Commission Role - Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1 the Planning Commission has the authority to take final action on a special exception application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.



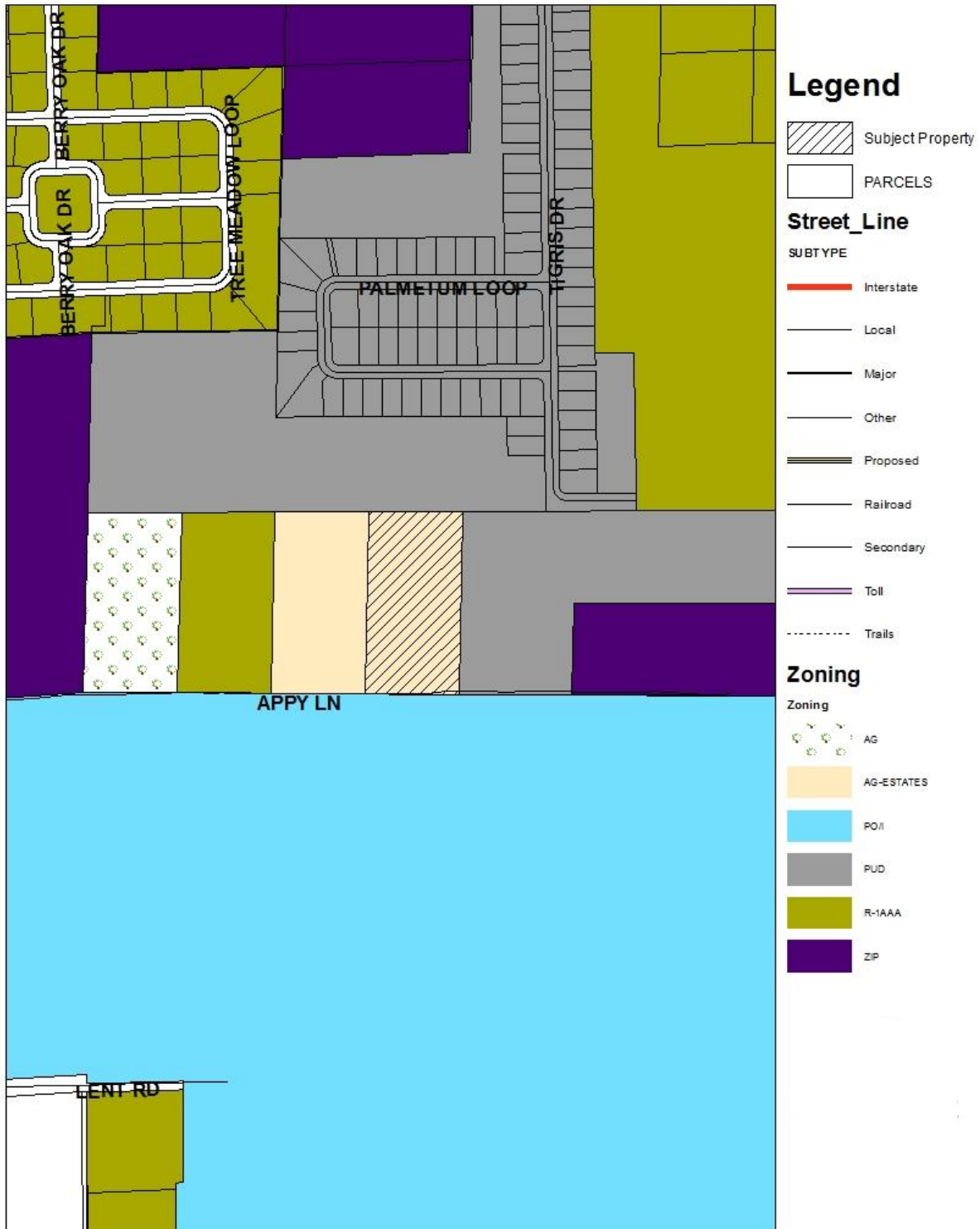
**Donald Sabiston/Renewal Church
Special Exception
To allow a place of worship located on property
assigned an Agriculture Estates zoning designation.
4.96 +/- Acres
Parcel ID #: 18-20-28-0000-00-112**

VICINITY MAP





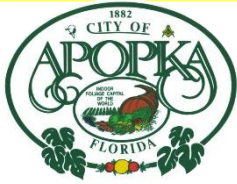
ADJACENT ZONING MAP





ADJACENT USES





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Preliminary Development Plan

MEETING OF: June 26, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Aerial Map
 Preliminary Dev. Plan
 Landscape Plan
 Traffic Impact Analysis

SUBJECT: PRELIMINARY DEVELOPMENT PLAN - BRIDLEWOOD SUBDIVISION (FKA EQUESTRIAN CENTER SUBDIVISION)

REQUEST: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR THE BRIDLEWOOD SUBDIVISION (FKA EQUESTRIAN CENTER SUBDIVISION)

SUMMARY:

OWNER: Laura R. Murphy
 APPLICANT: Appian Engineering, c/o Luke Classon, P.E.
 LOCATION: 359 West Lester Road
 PARCEL ID NUMBER: 28-20-28-0000-00-060
 FUTURE LAND USE: Residential Low Suburban
 ZONING DISTRICT: R-1 (Single Family Residential) Zoning District
 EXISTING USE: Errol Equestrian Center
 PROPOSED DEVELOPMENT: 52 Single Family Residences
 MINIMUM LOT WIDTH: 75 feet typical lot width
 MINIMUM LOT SIZE: 8,000 square feet
 PROPOSED DENSITY: 2.6 DU/AC (3.5 DU/AC Maximum)
 TRACT SIZE: 19.94 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	M-EC	Hooper’s Landscape Nursery
East (City)	Mixed Use	M-EC	Vacant land
South (City)	Institutional/Public Use	R-3	Vacant Land
West (City)	Rural	A-2	St Johns River Water Mgt. District

PROJECT SUMMARY: The Bridlewood Subdivision – Preliminary Development Plan proposes the development of 52 single family residential lots. The minimum typical lot width is 75 feet with a minimum lot size of 8,000 square feet. The required minimum living area for the subdivision is 1,500 square feet as set forth in Chapter 2 of the Land Development Code for single-family lots located within the R-1 zoning. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25’
Side	10’
Rear	20’
Corner	25’

*Front-entry garage must be setback 30 feet.

ACCESS: Ingress/egress access points for the development will be via full access onto Lester Road. A future connection occurs through a stub-out street at the northwest corner of the project.

TRANSPORTATION: A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City’s adopted TIA methodology. Included in the analysis were segments of CR 435, Welch Road, Lester Road, Ponkan Road, and Vick Road. Intersections analyzed were Lester Road and Rock Springs Road, Lester Road and Vick Road, and Lester Road and the project entrance. Right and left turn lane warrant studies at the site entrance were also conducted.

The project will generate 576 daily trips and 58 P.M. Peak Hour trips. The addition of these project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City’s adopted LOS. The current intersection analyses with existing traffic volumes indicate that the addition of Bridlewood project trips will not cause the intersection of Lester Road and Rock Springs Road or the site entrance to be over capacity. However, the intersection of Lester Road and Vick Road has experienced some delay issues during the P.M. Peak Hour. These issues are currently being monitored and improvements may be required at a later date, but not directly the responsibility of this project. This project will not adversely impact the current operation of the intersection.

STORMWATER: The stormwater management system includes an on-site retention area and located on the north portion of the project site. The stormwater pond design meets the City’s Land Development Code requirements.

RECREATION: The applicant is providing 0.47 acre/approximately 20,473 square feet of recreation space that includes a playground.

BUFFER(S)/LANDSCAPING: A 10-foot wide landscaped buffer easement including a pineapple guava, an evergreen hedge and 6-foot tall brick, masonry, concrete or precast wall are provided along Lester Road. A 6-foot tall composite fence within a 5-foot wide landscaped buffer are proposed on the western, northern and eastern perimeters of the site. Additional oak trees will be provided along the eastern boundary as additional screening for the existing Avian Reconditioning Center, and as part of the approved proposal for screening/wall variance, VAR18-03 Laura Murphy, public hearing.

VARIANCE(S): At the Planning Commission meeting on June 12, 2018, a variance, VAR18-03 Laura Murphy, was approved for the subject property allowing a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of required 6-foot tall brick, stone, or decorative block wall on the western, northern and eastern perimeters.

SCHOOL CAPACITY REPORT: A school concurrency mitigation agreement has been executed and a copy of the letter from Orange County Public Schools (OCPS) has been supplied to Staff.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the plat for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

June 26, 2018 – Planning Commission, 5:30 p.m.

July 18, 2018 – City Council, 7:00 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Bridlewood Subdivision – Preliminary Development Plan, subject to the findings of this staff report.

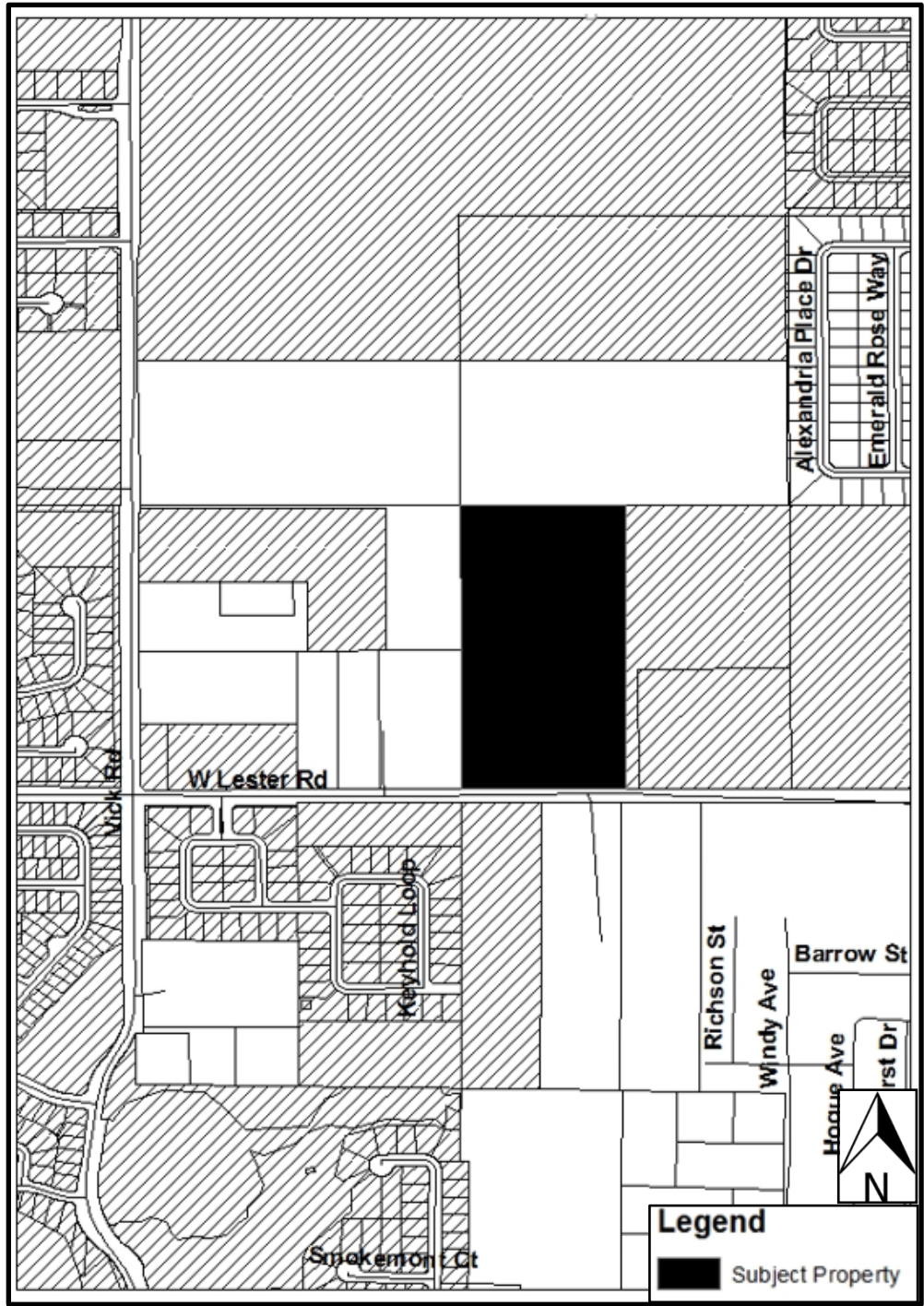
Recommended Motion: Recommend the approval of the Bridlewood Subdivision – Preliminary Development Plan subject to the findings of the staff report and the public hearing findings for VAR18-03 Laura Murphy.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

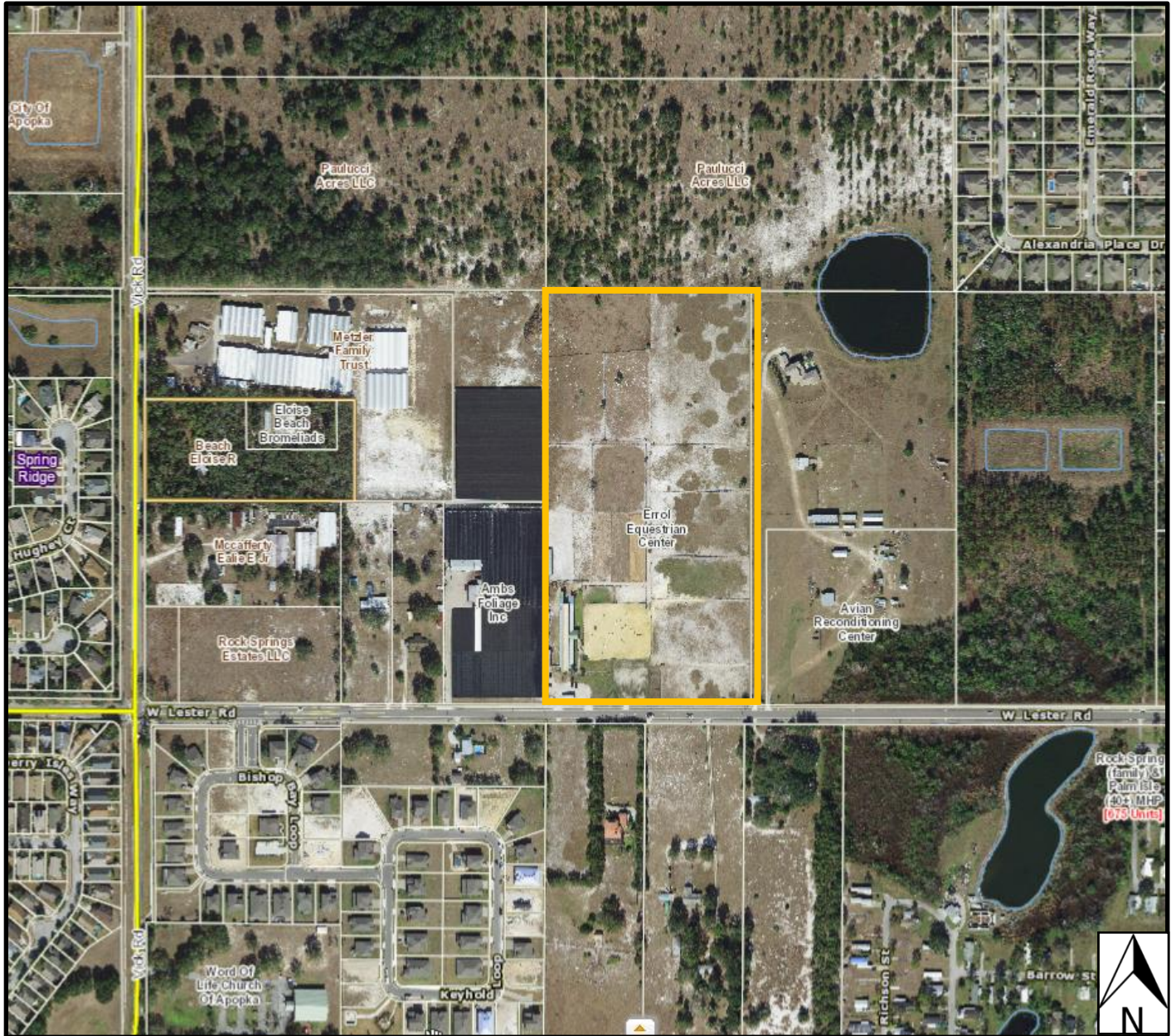
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Bridlewood Subdivision Preliminary Development Plan
Property Owner: Laura R. Murphy
Applicant: Luke Classon, P.E. c/o Appian Engineering
Total Site Area: +/- 19.94
Parcel ID #: 28-20-28-0000-00-060

VICINITY MAP



AERIAL MAP



LEGAL DESCRIPTION PER BENCHMARK SURVEYING & MAPPING, LLC DATED: JULY 2017

THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS ALL THAT PORTION LYING WITHIN THE ROAD RIGHT-OF-WAY.

PRELIMINARY DEVELOPMENT PLAN FOR EQUESTRIAN CENTER SUBDIVISION CITY OF APOPKA, FLORIDA OCA PARCEL ID# 28-20-28-0000-00-060

PROJECT TEAM:

OWNER
LAURA R. MURPHY
49 APRIL LANE
APOPKA, FL 32112
PHONE: (407) 434-2421

DEVELOPER
AVEX HOMES
CONTACT: ERIC WELLS
24 E. WASHINGTON STREET
ORLANDO, FL 32160
PHONE: (407) 950-1500
EMAIL: EWELLS@AVALONSPARKGROUP.COM

ENGINEER
APPIAN ENGINEERING, LLC
ENGINEER: LURE M. CLASSON, P.E.
221 LEE ROAD-SUITE 17
WINTER PARK, FL 32789
PHONE: (407) 950-1500
EMAIL: LCLASSON@APPIANTEL.COM

SURVEYOR
BENCHMARK SURVEYING & MAPPING, LLC
SURVEYOR: JOE BENJONS
P.O. BOX 71063
WINTER GARDEN, FL 34777
PHONE: (407) 654-6183
EMAIL: JOE@BENCHMARKSURVEYINGANDMAPPING.COM

LANDSCAPE ARCHITECT
LANDSCAPE DESIGN, LLC
LANDSCAPE ARCHITECT: CARL KELLY R. RIA
466 GAMBELLA LANE
WINTER PARK, FL 32792
PHONE: 407-484-3114
EMAIL: CKELLY1@CFL.RR.COM

GEOTECHNICAL ENGINEER
YOVASH ENGINEERING SERVICES, LLC
ENGINEER: DOUGLAS J. YOVASH, P.E.
933 SUNSHINE LANE
ALTAMONTE SPRINGS, FL 32714
PHONE: 407-774-9383
FAX: 407-478-4978
EMAIL: DOUG@YOVASH.COM

ENVIRONMENTAL CONSULTANT
BIO-TECH CONSULTANTS, INC.
ENVIRONMENTALIST: STEPHEN BUTLER
303 E. SOUTH STREET
ORLANDO, FL 32803
PHONE: 407-494-5969
FAX: 407-494-5970



VICINITY MAP
SCALE: 1" = 2000'

Code #	Code Requirement	Variance (V) / Waiver (W) Table		Justification
		(V/W)	Request	
2.02.05 (H,J,2)	Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval	V	To allow for a 6' polyvinyl chloride fence in lieu of a six-foot high brick, stone or decorative block finished wall for areas adjacent to agricultural districts.	Adjacent properties to the South, West and North currently have a future land use designation of residential in both the County and City. Current development trends in the area indicate surrounding properties will be developed to Low/Medium density residential properties in the future.

PRELIMINARY DEVELOPMENT PLAN NARRATIVE:

THE EQUESTRIAN CENTER SUBDIVISION IS MADE UP OF A SINGLE PARCEL AND IS LOCATED NORTH OF LESTER ROAD, EAST OF VICK ROAD WITH A PHYSICAL ADDRESS OF 359 W. LESTER ROAD, APOPKA, FL 32712. THE SUBJECT PROPERTY HAS A TOTAL AREA OF 19.94 ACRES AND WILL BE DEVELOPED INTO A S2 UNIT DETACHED SINGLE FAMILY RESIDENTIAL SUBDIVISION WITH ALL ASSOCIATED ROADWAYS AND UTILITIES. A RETENTION/DETENTION AREA WILL BE LOCATED ON-SITE TO SATISFY ALL STORMWATER REQUIREMENTS AS APPLICABLE TO THE SJRWMD AND THE CITY OF APOPKA. CURRENTLY, THE SUBJECT PROPERTY IS BEING USED AS AN EQUESTRIAN FACILITY. THE POTABLE WATER, RECLAIMED WATER, AND WASTEWATER WILL BE PROVIDED BY THE CITY OF APOPKA UTILITIES. A FEE SIMPLE OWNERSHIP, SUCH AS A HOME OWNERS ASSOCIATION WILL BE CREATED FOR ALL LANDS EXCLUSIVE OF THE INDIVIDUAL LOTS TO CONTROL AND MAINTAIN THE LAND. MINOR IMPROVEMENTS TO THE LESTER ROAD PUBLIC RIGHT-OF-WAY WILL OCCUR WHERE THE ENTRANCE OF THE SUBDIVISION CONNECTS TO LESTER ROAD.

UTILITY PROVIDERS

WATER/SEWER/RECLAIMED:
CITY OF APOPKA
748 E. CLEVELAND STREET
APOPKA, FL 32703
CONTACT: NARET TERAN
PHONE: (407) 703-1731, EXT. 685

SOLID WASTE COLLECTION SERVICES:
CITY OF APOPKA
120 E. MAIN STREET
APOPKA, FLORIDA 32703
PHONE: (407) 703-1700

GAS:
LAKE APOPKA NATURAL GAS DISTRICT
1320 WINTER GARDEN VINELAND ROAD
ORLANDO, FL 32803
CONTACT: ANTONIO GIBSON
PHONE: (407) 656-2734

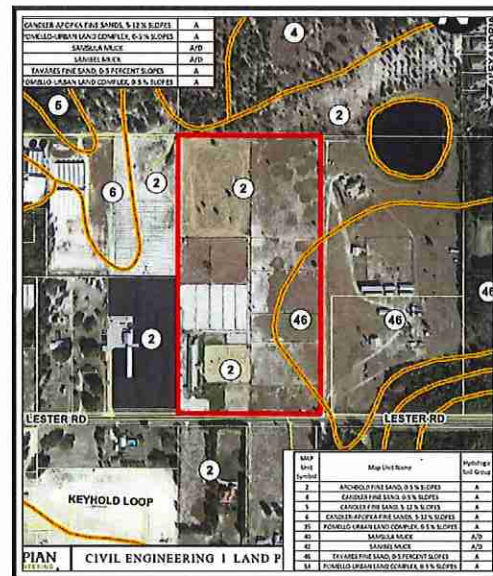
TELEPHONE & FIBER OPTIC:
CENTURY LINK
33 N. MAIN STREET, ROOM 144
WINTER GARDEN, FL 34787
CONTACT: TY LESLIE
PHONE: (407) 814-5293

CABLE:
CHARTER COMMUNICATIONS (A.K.A. SPECTRUM)
3767 ALL AMERICAN BOULEVARD
ORLANDO, FLORIDA 32818
CONTACT: TRACY DOMOSTOY
PHONE: (407) 532-8511

POWER:
DUKE ENERGY
2501 25TH STREET NORTH
ST. PETERSBURG, FL 33713
CONTACT: SHARON DEAR
PHONE: (407) 905-3321



AERIAL MAP
SCALE: 1" = 400'



SOILS MAP
SCALE: 1" = 400'



FEMA FLOOD MAP
SCALE: 1" = 1000'

SHEET INDEX

--	COVER
C1.0	EXISTING CONDITIONS PLAN - OVERALL
C1.1	EXISTING CONDITIONS PLAN - SOUTH
C1.2	EXISTING CONDITIONS PLAN - NORTH
C1.3	EROSION CONTROL & DEMO PLAN - SOUTH
C1.4	EROSION CONTROL & DEMO PLAN - NORTH
C2.0	OVERALL GEOMETRY PLAN
C2.1	GEOMETRY PLAN - SOUTH
C2.2	GEOMETRY PLAN - NORTH
C2.3	GEOMETRY CROSS SECTIONS
C2.4	FIRE TRUCK ROUTE PLAN
C2.5	LIGHTING PLAN
C3.0	UTILITY PLAN - SOUTH
C3.1	UTILITY PLAN - NORTH
C4.0	PAVING & GRADING PLAN - SOUTH
C4.1	PAVING & GRADING PLAN - NORTH
C5.0	DRAINAGE PLAN - SOUTH
C5.1	DRAINAGE PLAN - NORTH
LS-01 (1/2)	LANDSCAPE SITE PLAN & TREE MITIGATION
LS-01 (2/2)	LANDSCAPE SITE PLAN & TREE MITIGATION
S-1 (1/2)	SURVEY
S-1 (2/2)	SURVEY

**SHEET 1 OF 20
NOT FOR CONSTRUCTION**



2221 LEE ROAD, SUITE 17
WINTER PARK, FLORIDA 32789
(407) 960-5868

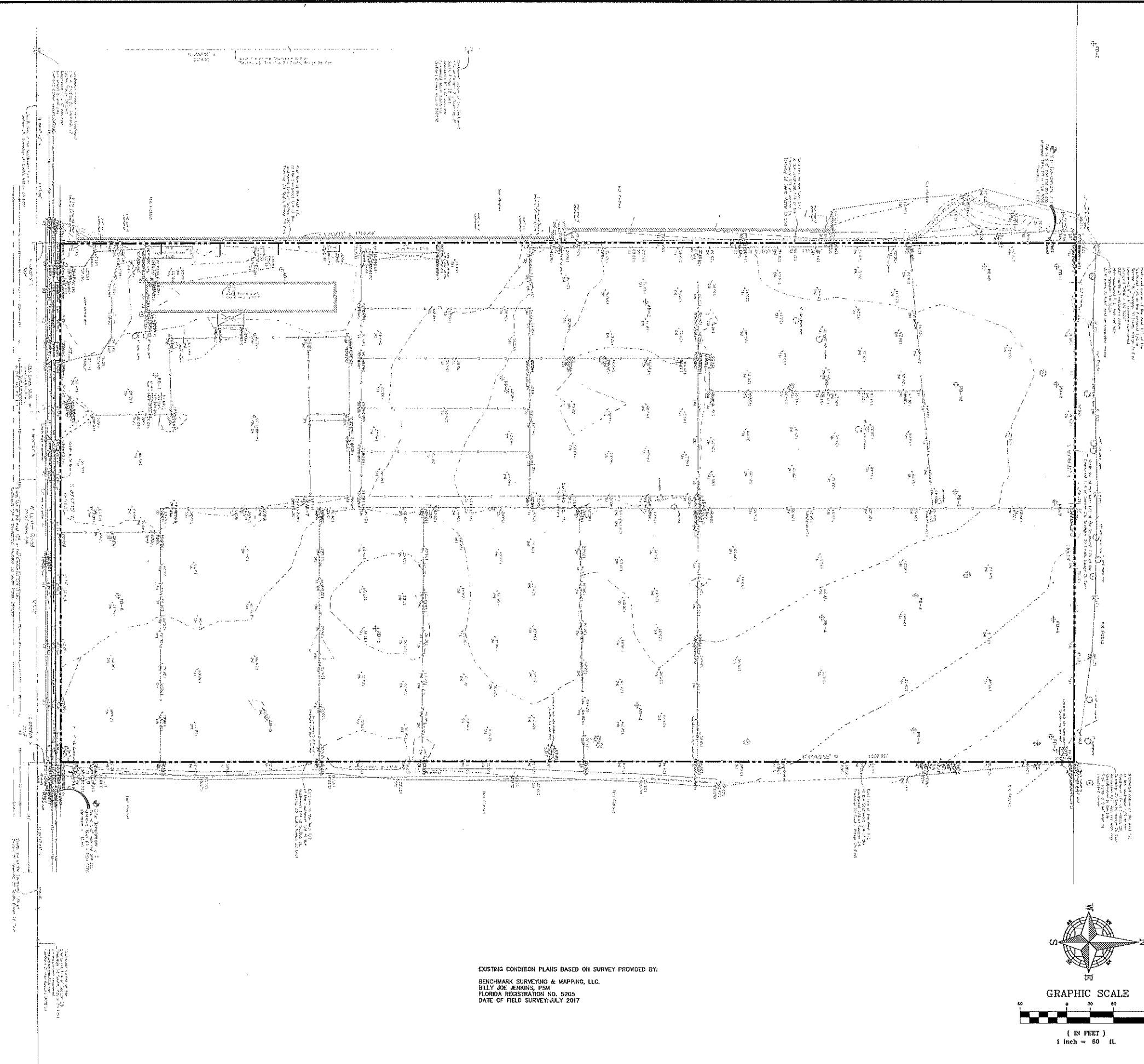
BOARD OF PROFESSIONAL
ENGINEERING CERTIFICATE
NO. 32174

PERMITS REQUIRED

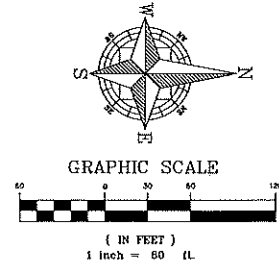
AGENCY	PERMIT TYPE	DATE APPLIED	DATE APPROVED	APPROVAL NO.
CITY OF APOPKA	SITE PERMIT			
S.J.R.W.M.D.	ERP			
F.D.E.P.	WATER			
F.D.E.P.	WASTEWATER			
F.D.E.P.	NPDES			

REV.	DATE	DESCRIPTION

P:\project drawings\low-001 equestrian center (5-17088)\Drawings\civil\LD\Layout\03 - preliminary development plan (pdp)\Building Conditions Plan.dwg Modified: 2/23/2018 By: jaim



EXISTING CONDITION PLANS BASED ON SURVEY PROVIDED BY:
 BENCHMARK SURVEYING & MAPPING, LLC.
 BILLY JOE JENKINS, PSM
 FLORIDA REGISTRATION NO. 5205
 DATE OF FIELD SURVEY: JULY 2017



Property Description
 The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS all that portion lying within the road right-of-way.

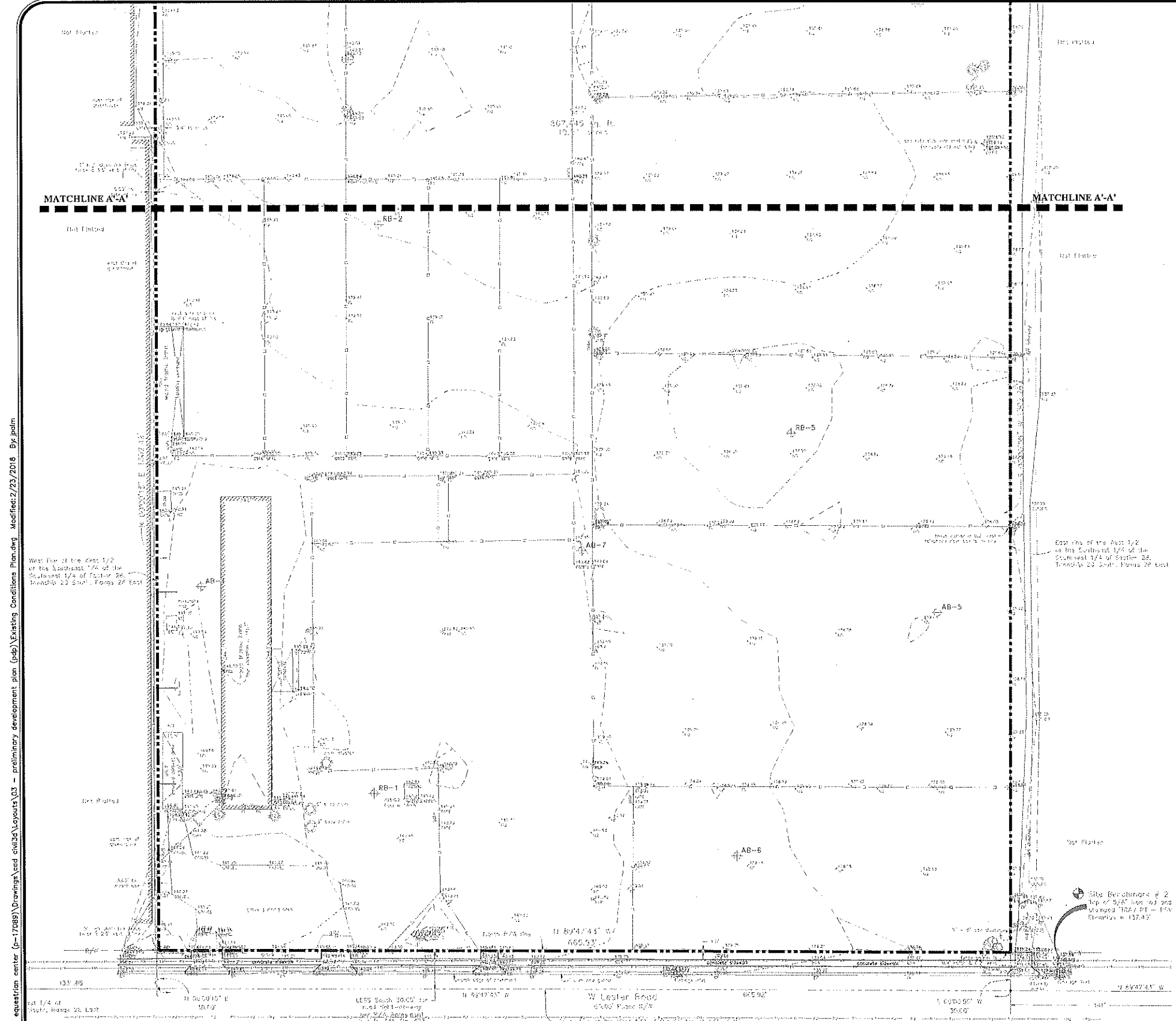
Surveyor's Report

1. Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as North 89°47'43" West.
2. The elevations shown hereon are based on Orange County Vertical Control Network. Specifically, point identification number S-137-9002, being a 3" aluminum survey disk set in concrete curb inlet at the west side of Vick Road, 365'+ south of Lester Road. Published elevation is 129.41 feet, relative to the North American Vertical Datum (NAVD) of 1988.
3. This Survey was performed with the benefit of a title commitment prepared by Old Republic National Title Insurance Company, commitment number 472525 dated June 27, 2017. This firm relied on said commitment and did not search the public records for easements or restrictions of record.
4. Subject property contains 19.91 acres, more or less and is currently a equestrian center with horse stables and training facilities. The training facilities and courses are not shown hereon.
5. Subject property lies within Zone X, area determined to be outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map number 12095CD110F, dated September 25, 2009.
6. This Survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whatsoever.
7. Only the aboveground evidence of underground utilities are shown, underground improvements were not located.
8. The spot elevations along the edge of pavement/curb are edge of pavement elevations.
9. The feature symbols depicted on this survey and in the legend are shown for graphic purposes and may not be drawn to scale.
10. Trees that are 8" in diameter at breast height and larger are shown hereon. There are smaller trees, bushes and hedges that are not shown hereon. Only the trees within the subject property are shown, there may be trees within 5' of the boundary lines that are not shown. The location of the trees shown hereon are approximate and not intended for design purposes. If trees are to remain due to proposed design, we recommend a more accurate location of the trees trunk and roots.
11. Subject property has direct access from a public right of way named W Lester Road. The property abuts said public right of way with no overlaps gaps or gorse.
12. This survey meets the Standards of Practice set forth in Florida Administrative Code Rule 5J-17, pursuant to Florida Statute Chapter 472.
13. This Survey is not valid without the signature and seal of a Florida licensed surveyor and mapper.

Abbreviations and Legend

- R/W - denotes right-of-way
- O.R. - denotes Official Records Book
- Pg. - denotes Page
- LB - denotes Licensed Business
- PSM - denotes Professional Surveyor and Mapper
- PRM - denotes permanent reference monument
- TRAV PT - denotes traverse point (survey work point)
- ⊕ - denotes fire hydrant
- ⊕ - denotes water valve
- ☆ - denotes light pole
- ⊕ - denotes air conditioning unit
- ⊕ - denotes reuse water valve/meter
- ⊕ - denotes guy wire anchor
- ⊕ - denotes wood power pole
- - denotes overhead utility line
- ⊕ - denotes underground cable riser box
- ⊕ - denotes mailbox
- ⊕ - denotes sign
- ⊕ - denotes wood post and rail fence
- ⊕ - denotes 5' high chain link fence
- ⊕ - denotes barbed wire fence with wood post
- × 138.78 - denotes spot elevation
- 139— - denotes elevation contour
- ⊕ - denotes maple tree and size of diameter at breast height in inches
- ⊕ - denotes palm tree and size of diameter at breast height in inches
- ⊕ - denotes oak tree and diameter at breast height size in inches (10" oak tree), unless otherwise noted
- ⊕ - denotes pine tree and diameter at breast height size in inches (6" pine tree)
- - denotes point of intersection of boundary lines no corner monument recovered or set
- ⊕ - denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

CIVIL ENGINEERING LAND PLANNING	APPIAN ENGINEERING LLC.			APPIANFL.COM • 407.960.3868	2211 Lee Road, Suite 11, Winter Park, Florida 32789	REGISTERED PROFESSIONAL ENGINEER	DESCRIPTION
EXISTING CONDITIONS PLAN - OVERALL	PRELIMINARY DEVELOPMENT PLAN			EQUESTRIAN CENTER SUBDIVISION		CITY OF APOPKA, FLORIDA	
DRAWN: J. PALM	DESIGNED: L. CLASSON	CHECKED: L. CLASSON	DATE: 10/9/2017	SCALE 1" = 60'	PROJECT AVX-001	SHEET C1.0	BY
<p>SHEET 2 OF 20 NOT FOR CONSTRUCTION</p>							

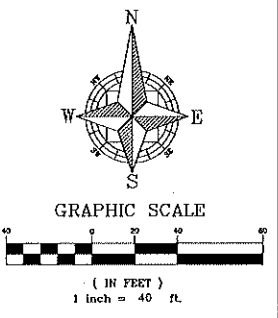


Property Description

The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS all that portion 1/65 within the road right-of-way.

Surveyor's Report

1. Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as North 89°47'43" West.
2. The elevations shown hereon are based on Orange County Vertical Control Network. Specifically, point identification number S-137-9002, being a 3" aluminum survey disk set in concrete curb inlet at the west side of Vick Road, 365'+ south of Lester Road. Published elevation is 129.41 feet, relative to the North American Vertical Datum (NAVD) of 1988.
3. This Survey was performed with the benefit of a title commitment prepared by Old Republic National Title Insurance Company, commitment number 472525 dated June 27, 2017. This firm relied on said commitment and did not search the public records for easements or restrictions of record.
4. Subject property contains 19.91 acres, more or less and is currently an equestrian center with horse stables and training facilities. The training facilities and courses are not shown hereon.
5. Subject property lies within Zone X, area determined to be outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map number 12095C0110F, dated September 25, 2009.
6. This Survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.
7. Only the aboveground evidence of underground utilities are shown, underground improvements were not located.
8. The spot elevations along the edge of pavement/curb are edge of pavement elevations.
9. The feature symbols depicted on this survey and in the legend are shown for graphic purposes and may not be drawn to scale.
10. Trees that are 8" in diameter at breast height and larger are shown hereon. There are smaller trees, bushes and hedges that are not shown hereon. Only the trees within the subject property are shown, there may be trees within 5' of the boundary lines that are not shown. The location of the trees shown hereon are approximate and not intended for design purposes. If trees are to remain due to proposed design, we recommend a more accurate location of the trees trunk and roots.
11. Subject property has direct access from a public right of way named W Lester Road. The property abuts said public right of way with no overlaps gaps or gores.
12. This survey meets the Standards of Practice set forth in Florida Administrative Code Rule 5J-17, pursuant to Florida Statute Chapter 472.
13. This Survey is not valid without the signature and seal of a Florida licensed surveyor and mapper.



Abbreviations and Legend

- R/W - denotes right-of-way
- O.R. - denotes Official Records Book
- Pg. - denotes Page
- LB - denotes Licensed Business
- PSM - denotes Professional Surveyor and Mapper
- PRM - denotes permanent reference monument
- TRAV PT - denotes traverse point (survey work point)
- [Symbol: Fire hydrant] - denotes fire hydrant
- [Symbol: Water valve] - denotes water valve
- [Symbol: Light pole] - denotes light pole
- [Symbol: Air conditioning unit] - denotes air conditioning unit
- [Symbol: Reuse water valve/meter] - denotes reuse water valve/meter
- [Symbol: Guy wire anchor] - denotes guy wire anchor
- [Symbol: Wood power pole] - denotes wood power pole
- [Symbol: Overhead utility line] - denotes overhead utility line
- [Symbol: Underground cable riser box] - denotes underground cable riser box
- [Symbol: Mailbox] - denotes mailbox
- [Symbol: Sign] - denotes sign
- [Symbol: Wood post and rail fence] - denotes wood post and rail fence
- [Symbol: 5' high chain link fence] - denotes 5' high chain link fence
- [Symbol: Barbed wire fence with wood post] - denotes barbed wire fence with wood post
- [Symbol: Spot elevation] - denotes spot elevation
- [Symbol: Elevation contour] - denotes elevation contour
- [Symbol: Maple tree] - denotes maple tree and size of diameter at breast height in inches
- [Symbol: Palm tree] - denotes palm tree and size of diameter at breast height in inches
- [Symbol: Oak tree] - denotes oak tree and diameter at breast height size in inches (10" oak tree), unless otherwise noted
- [Symbol: Pine tree] - denotes pine tree and diameter at breast height size in inches (6" pine tree)
- [Symbol: Intersection of boundary lines] - denotes point of intersection of boundary lines no corner monument recovered or set
- [Symbol: Iron rod and cap] - denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

P:\project drawings\001 equestrian center (6-17689)\Drawings\cadd\layouts\03 - preliminary development plan (pub)\Existing Conditions Planning Modifict: 2/23/2018 By: jalm

West line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

East line of the West 1/2 of the Southwest 1/4 of the Southeast 1/4 of Section 28, Township 20 South, Range 28 East

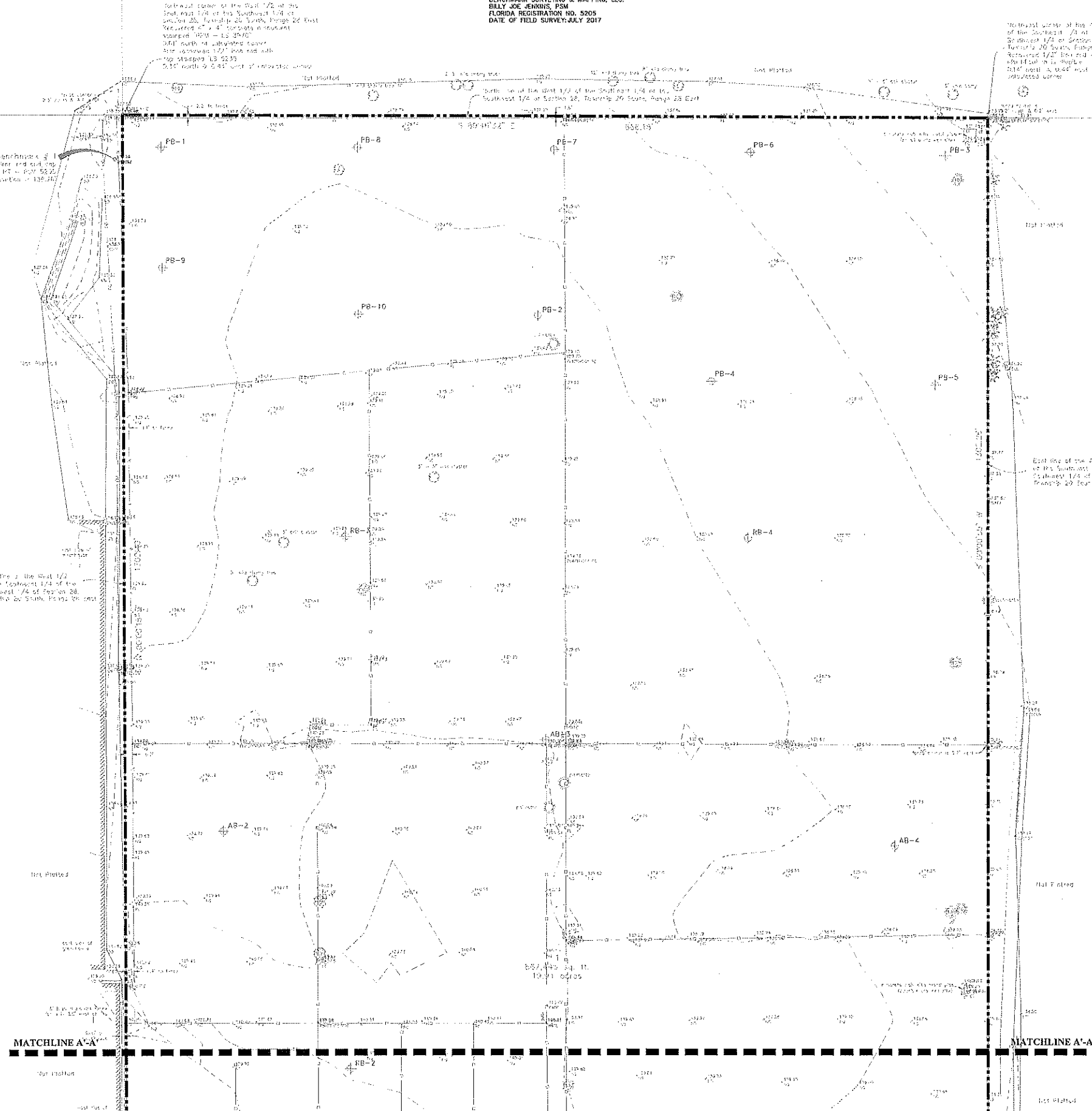
EXISTING CONDITION PLANS BASED ON SURVEY PROVIDED BY:
 BENCHMARK SURVEYING & MAPPING, LLC.
 BILLY JOE JENKINS, PSM
 FLORIDA REGISTRATION NO. 5205
 DATE OF FIELD SURVEY: JULY 2017

BY		DATE		REVISION		DESCRIPTION	
CIVIL ENGINEERING & LAND PLANNING							
APPIAN ENGINEERING LLC.							
2221 Lee Road, Suite 217, Weston, FL 33326 APPIANFL.COM • 407.960.5868 <small>STATE OF FLORIDA LICENSE # 000000000000000000</small>							
EXISTING CONDITIONS PLAN - SOUTH				EQUESTRIAN CENTER SUBDIVISION			
PRELIMINARY DEVELOPMENT PLAN				CITY OF APOPKA, FLORIDA			
DRAWN:	DESIGNED:	CHECKED:	DATE:				
J. PALM	L. CLASSON	L. CLASSON	10/9/2017				
SCALE:	PROJECT:	SHEET:					
1" = 40'	AVX-001	C1.1					

SHEET 3 OF 20
NOT FOR CONSTRUCTION

P:\project drawings\box-001 equestrian center (p-17089)\Drawings\cad\civil\layouts\03 - preliminary development plan (pub)\Existing Conditions Plan.dwg Modified: 2/23/2018 By: jpd

EXISTING CONDITION PLANS BASED ON SURVEY PROVIDED BY:
BENCHMARK SURVEYING & MAPPING, LLC.
BILLY JOE JENKINS, PSM
FLORIDA REGISTRATION NO. 5205
DATE OF FIELD SURVEY: JULY 2017



Property Description

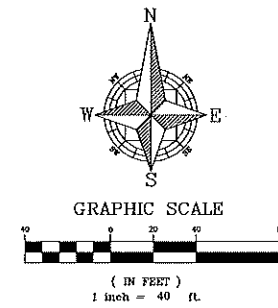
The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS all the portion lying within the road right-of-way.

Surveyor's Report

- Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as North 89°47'43" West.
- The elevations shown hereon are based on Orange County Vertical Control Network. Specifically, point identification number S-137-9002, being a 3" aluminum survey disk set in concrete curb inlet at the west side of Wick Road, 3657'± south of Lester Road. Published elevation is 129.41 feet, relative to the North American Vertical Datum (NAVD) of 1988.
- This Survey was performed with the benefit of a title commitment prepared by Old Republic National Title Insurance Company, commitment number 472525 dated June 27, 2017. This firm relied on said commitment and did not search the public records for easements or restrictions of record.
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- The feature symbols depicted on this survey and in the legend are shown for graphic purposes and may not be drawn to scale.
- Trees that are 8" in diameter at breast height and larger are shown hereon. There are smaller trees, bushes and hedges that are not shown hereon. Only the trees within the subject property are shown, there may be trees within 5' of the boundary lines that are not shown. The location of the trees shown hereon are approximate and not intended for design purposes. If trees are to remain due to proposed design, we recommend a more accurate location of the trees trunk and roots.
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- This survey meets the Standards of Practice set forth in Florida Administrative Code Rule 5J-17, pursuant to Florida Statute Chapter 472.
- This Survey is not valid without the signature and seal of a Florida licensed surveyor and mapper.

Abbreviations and Legend

- R/W - denotes right-of-way
- O.R. - denotes Official Records Book
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- LB - denotes Licensed Business
- PSM - denotes Professional Surveyor and Mapper
- PRM - denotes permanent reference monument
- TRAV PT - denotes traverse point (survey work point)
- denotes fire hydrant
- denotes water valve
- denotes light pole
- denotes air conditioning unit
- denotes reuse water valve/meter
- denotes guy wire anchor
- denotes wood power pole
- denotes overhead utility line
- denotes underground cable riser box
- denotes mailbox
- denotes sign
- denotes wood post and rail fence
- denotes 5' high chain link fence
- denotes barbed wire fence with wood post
- denotes spot elevation
- denotes elevation contour
- denotes maple tree and size of diameter at breast height in inches
- denotes palm tree and size of diameter at breast height in inches
- denotes oak tree and diameter at breast height size in inches (10" oak tree), unless otherwise noted
- denotes pine tree and diameter at breast height size in inches (6" pine tree)
- denotes point of intersection of boundary lines no corner monument recovered or set
- denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

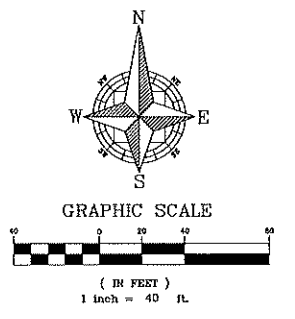
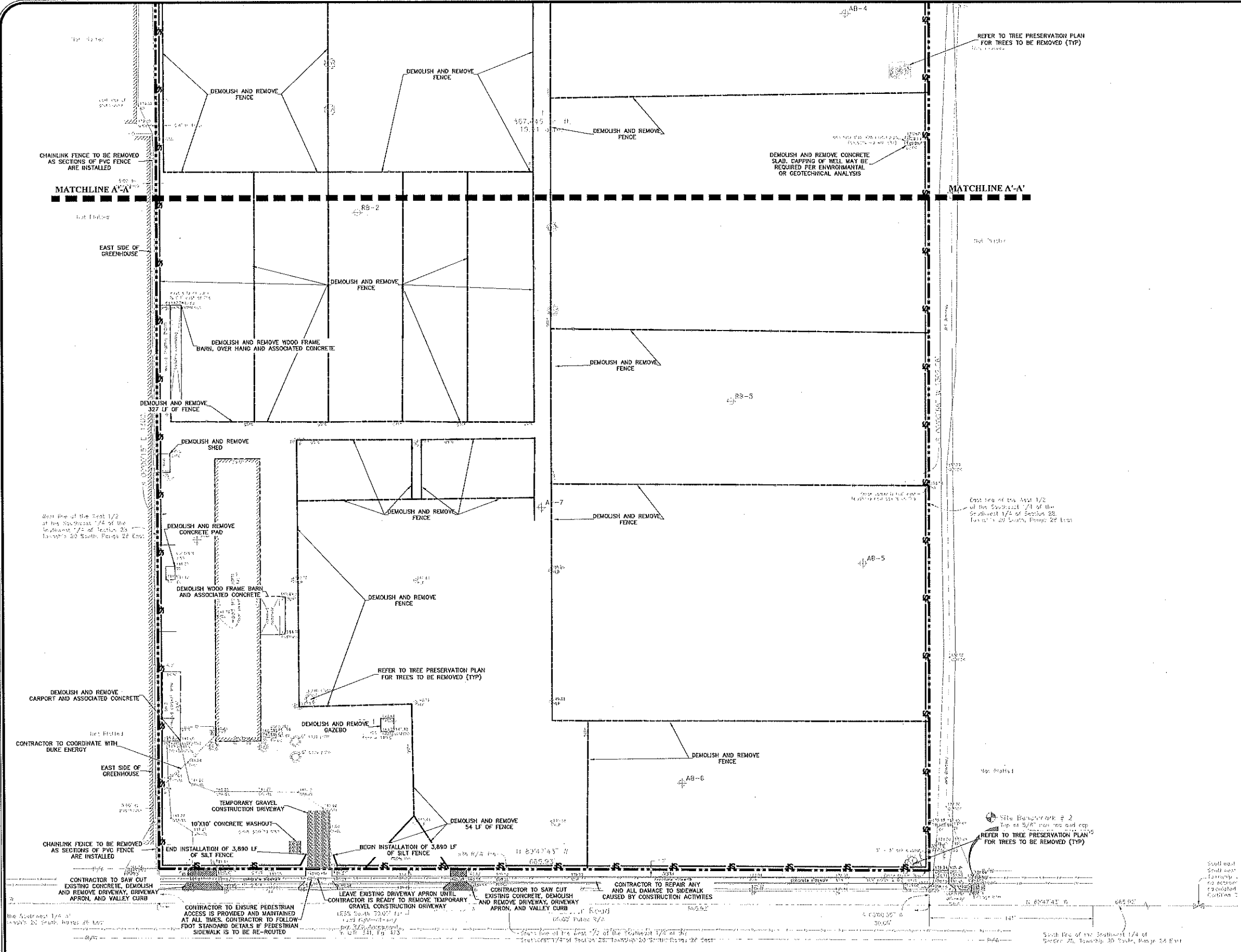


CIVIL ENGINEERING LAND PLANNING	APPIAN ENGINEERING LLC.	DATE	BY
	APPIANENGINEERING.COM • 407.960.5868	REV	
EXISTING CONDITIONS PLAN - NORTH PRELIMINARY DEVELOPMENT PLAN		EQUESTRIAN CENTER SUBDIVISION CITY OF APOPKA, FLORIDA	
DRAWN: J. PALM	DESIGNED: L. CLASSON	CHECKED: L. CLASSON	DATE: 10/9/2017
SCALE: 1" = 40'	PROJECT: AVX-001	SHEET: C1.2	

SHEET 4 OF 20
NOT FOR CONSTRUCTION

2/28/18

P:\Project_drawing_low-001\equation-center (p=17089)\Drawings\civil\land\preliminary development plan (pds)\Erosion Control - M.O.T. - Demo Plan.dwg Modified: 2/26/2018 By: Baker



LEGEND

--- PROPERTY BOUNDARY

-SF- SILT FENCE

- Abbreviations and Legend**
- R/W - denotes right-of-way
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 - PRM - denotes permanent reference monument
 - TRAV PT - denotes traverse point (survey work point)
 - ⊛ - denotes fire hydrant
 - ⊚ - denotes water valve
 - ☆ - denotes light pole
 - ☒ - denotes air conditioning unit
 - ⊠ - denotes reuse water valve/meter
 - ⊔ - denotes guy wire anchor
 - ⊞ - denotes wood power pole
 - o— denotes overhead utility lines
 - ⊙ - denotes underground cable riser box
 - ⊞ - denotes mailbox
 - ⊣ - denotes sign
 - o— denotes wood post and rail fence
 - o— denotes 5' high chain link fence
 - x— denotes barbed wire fence with wood post
 - x— denotes spot elevation
 - 139.7— denotes elevation contour
 - ⊙ (with 'M') denotes maple tree and size of diameter at breast height in inches
 - ⊙ (with 'P') denotes palm tree and size of diameter at breast height in inches
 - ⊙ (with 'O') denotes oak tree and diameter at breast height size in inches (10" oak tree), unless otherwise noted
 - ⊙ (with 'P') denotes pine tree and diameter at breast height size in inches (6" pine tree)
 - denotes point of intersection of boundary lines no corner monument recovered or set
 - ⊙ (with 'S') denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

REV.	DESCRIPTION	DATE

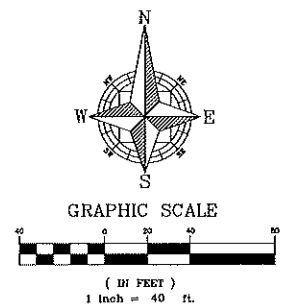
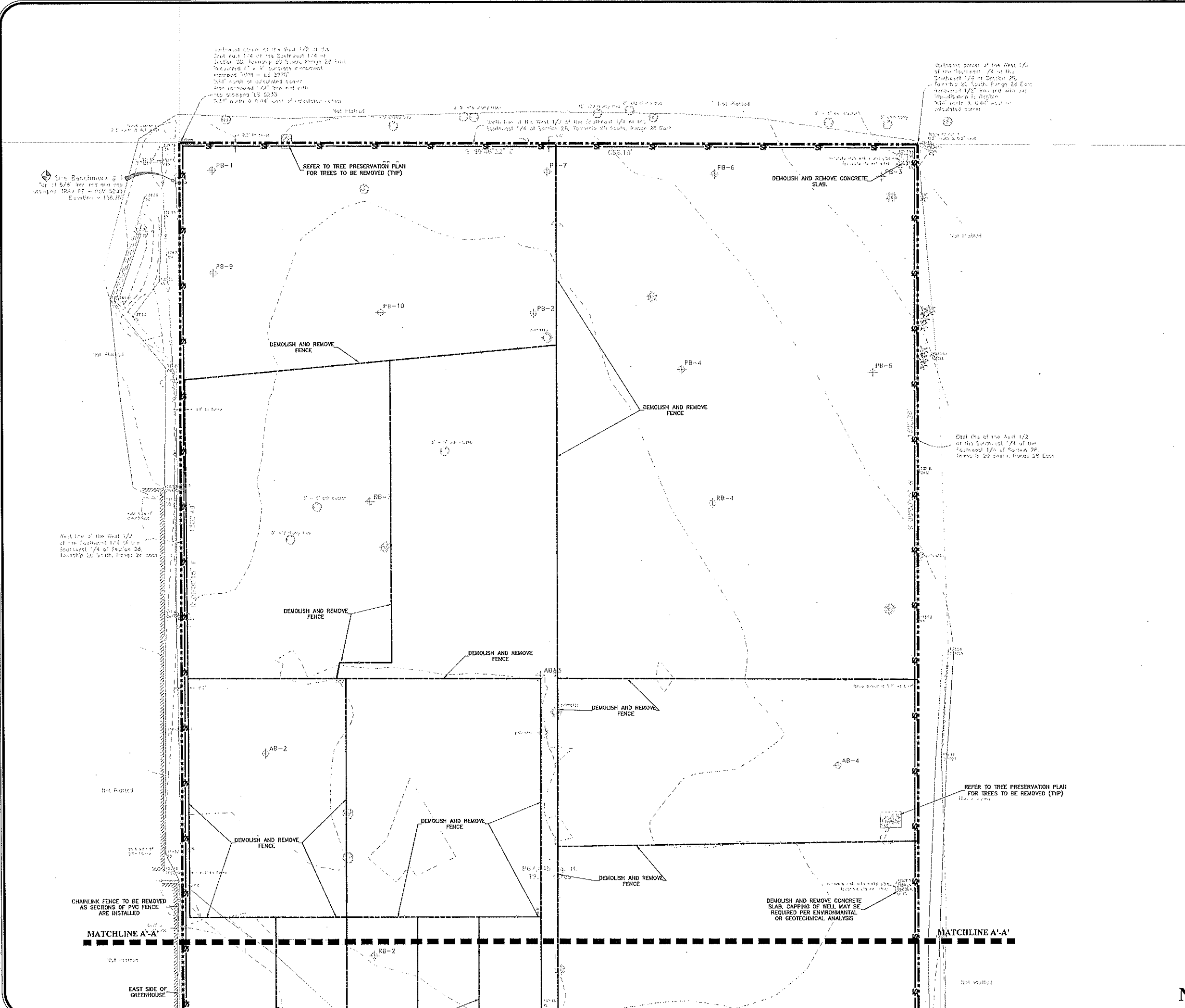
CIVIL ENGINEERING & LAND PLANNING
APIAN ENGINEERING LLC.
 2211 Lee Road, Suite 101, Apopka, Florida 32789
 APPIAN.COM • 407.960.8888

EROSION CONTROL & DEMO PLAN - SOUTH
 PRELIMINARY DEVELOPMENT PLAN
 EQUESTRIAN CENTER SUBDIVISION
 CITY OF APOPKA, FLORIDA

DRAWN: J. PALM	DESIGNED: L. GLASSON	CHECKED: L. GLASSON	DATE: 2/23/2018
SCALE: 1" = 40'	PROJECT: AVX-001	SHEET: C1.3	



P:\Project Drawings\low-001 equitation center (p-17088)\Drawings\lead civil\Aspirin\03 - preliminary development plan (pds)\Erosion Control - M.O.T. - Demo Plan.dwg Modified: 2/23/2018 By: pdm



- Abbreviations and Legend**
- R/W - denotes right-of-way
 - O.R. - denotes Official Records Book
 - Pg. - denotes Page
 - LB - denotes Licensed Business
 - PSM - denotes Professional Surveyor and Mapper
 - PRM - denotes permanent reference monument
 - TRAV PT - denotes traverse point (survey work point)
 - ⊕ - denotes fire hydrant
 - ⊕ - denotes water valve
 - ⊕ - denotes light pole
 - ⊕ - denotes air conditioning unit
 - ⊕ - denotes reuse water valve/meter
 - ⊕ - denotes guy wire anchor
 - ⊕ - denotes wood power pole
 - OU— - denotes overhead utility line
 - ⊕ - denotes underground cable riser box
 - ⊕ - denotes mailbox
 - ⊕ - denotes sign
 - ⊕ - denotes wood post and rail fence
 - ⊕ - denotes 5' high chain link fence
 - ⊕ - denotes barbed wire fence with wood post
 - ⊕ 138.78 - denotes spot elevation
 - ⊕ 139 - denotes elevation contour
 - ⊕ - denotes maple tree and size of diameter at breast height in inches
 - ⊕ - denotes palm tree and size of diameter at breast height in inches
 - ⊕ - denotes oak tree and diameter at breast height size in inches (10" oak tree), unless otherwise noted
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 - ⊕ - denotes point of intersection of boundary lines no corner monument recovered or set
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REV.	DATE	DESCRIPTION
1		
2		
3		
4		
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CIVIL ENGINEERING | LAND PLANNING

APIAN ENGINEERING LLC.

APIANFL.COM • 407-960-5888

2221 Lee Road, Suite 17, Winter Park, Florida 32789

EROSION CONTROL & DEMO PLAN - NORTH

PRELIMINARY DEVELOPMENT PLAN

EQUESTRIAN CENTER SUBDIVISION

CITY OF APOPKA, FLORIDA

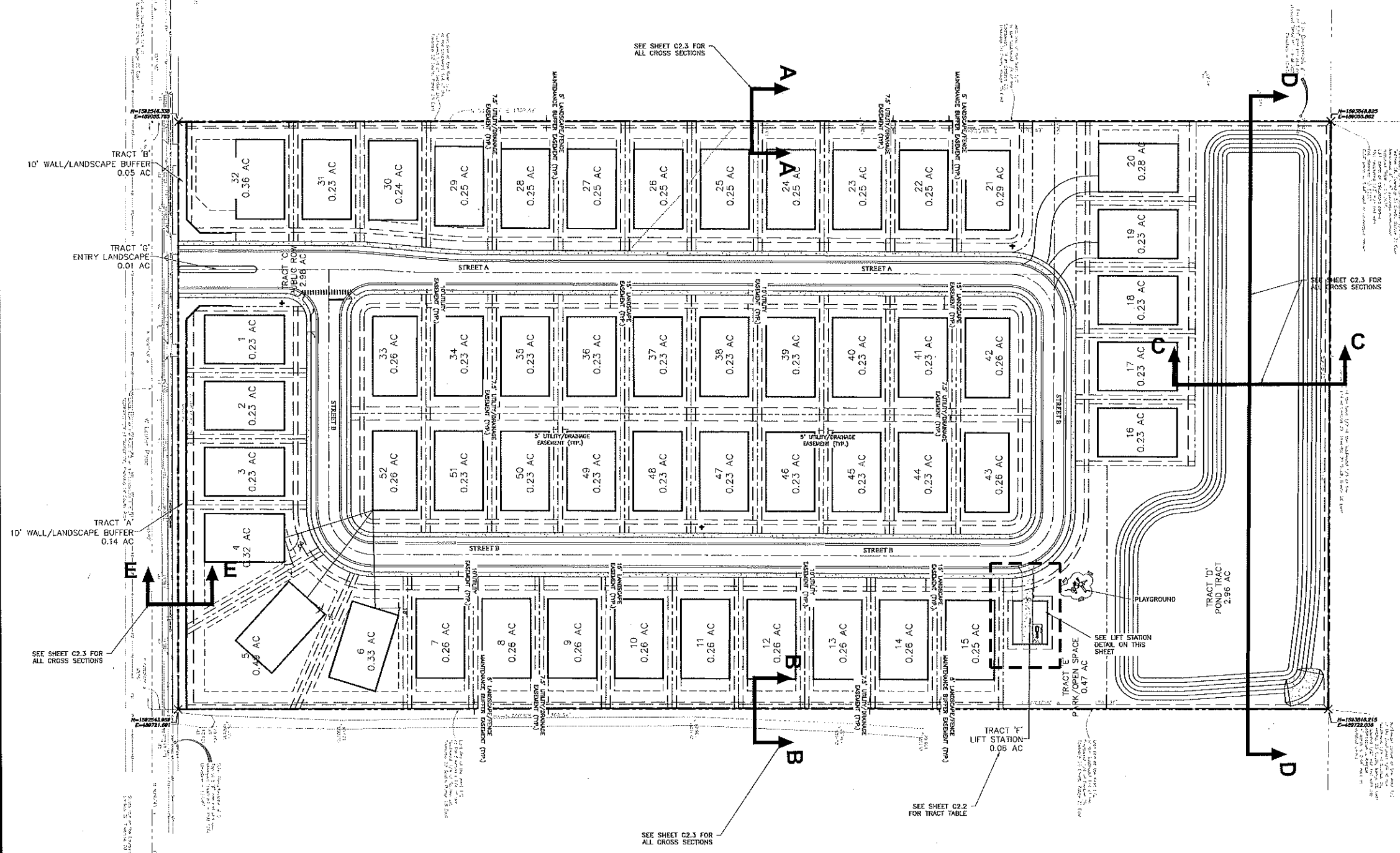
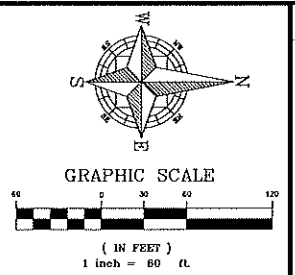
SCALE	1" = 40'
DESIGNED BY	J. PALM
DESIGNED BY	L. CLASSON
CHECKED BY	L. CLASSON
DATE	2/23/2018
SHEET	C1.4



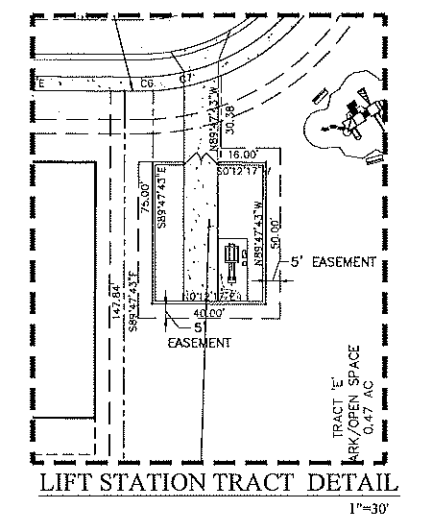
SHEET 6 OF 20
NOT FOR CONSTRUCTION

P:\project_drawing\low-001_equestrian_center (g-17089)\Drawings\civil\Layouts\03 - preliminary development plan (pdp)\Geometry Plan.dwg Modified: 2/26/2018 By: J. Baker

LEGEND
 - - - - - PROPERTY BOUNDARY
 - - - - - LOT LINES
 - - - - - EASEMENTS
 - - - - - SETBACKS



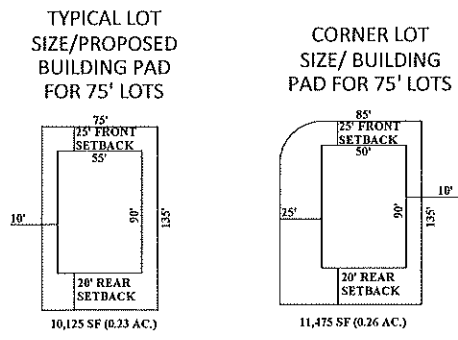
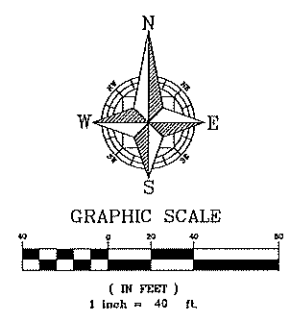
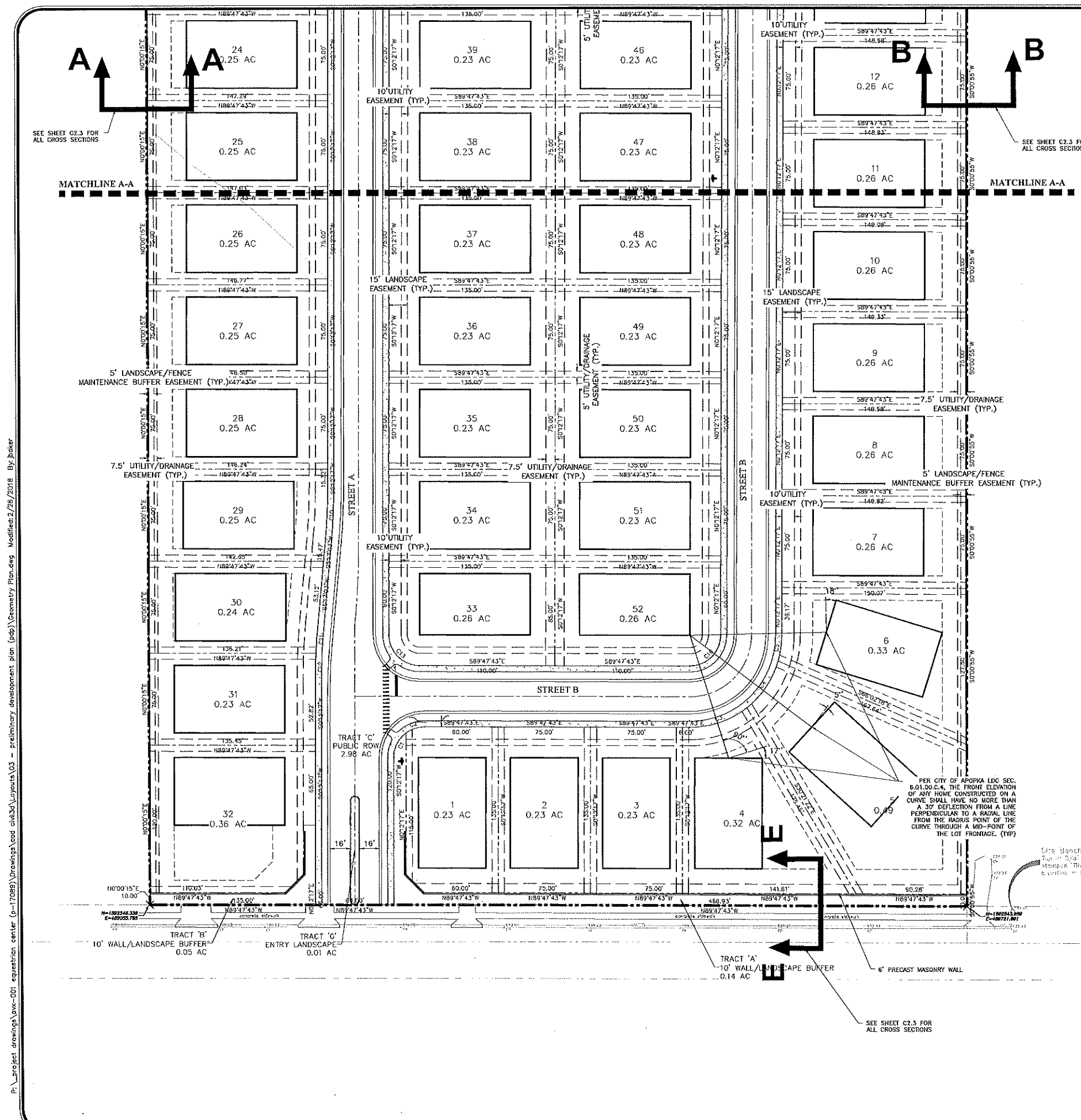
SITE DATA:
 OCPA - PARCEL ID #: 28-20-28-0000-00-060
 PROPERTY ADDRESS: 359 W LESTER RD APOPKA, FL 32712
 TOTAL PROPERTY AREA: ±19.91 Ac.
 EXISTING FUTURE LAND USE: AG
 PROPOSED FUTURE LAND USE: RLS
 ADJACENT FUTURE LAND USE:
 NORTH LD (ORANGE CO.)
 SOUTH RL (APOPKA) LM (ORANGE CO.)
 EAST AG (APOPKA)
 WEST LD (ORANGE CO.)
 EXISTING ZONING: AG
 PROPOSED ZONING: R-1
 ADJACENT ZONING:
 NORTH A-1 (ORANGE CO.)
 SOUTH R-2 (APOPKA) A-2 (ORANGE CO.)
 EAST AG (APOPKA)
 WEST A-1 (ORANGE CO.)
 SETBACK REQUIREMENTS: FRONT: 25'
 REAR: 20'
 SIDE: 10'
 CORNER: 25'
 MINIMUM LOT AREA: 8,000 SF
 MINIMUM LIVING AREA: 1,500 SF
 WAIVER REQUEST: NO
 VARIANCE REQUEST: YES: A 6' HIGH PVC FENCE IS PROPOSED ALONG THE NORTH, EAST, AND WEST SIDES OF THE SITE IN LIEU OF A 6' HIGH MASONRY WALL. REFER TO VARIANCE TABLE ON COVER SHEET.
 THE PLAT FOR THE SUBDIVISION SHALL BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN
 DRIVEWAYS WILL BE CONSTRUCTED PER CITY OF APOPKA LAND DEVELOPMENT CODE SECTIONS 6.02.10(C)(9) & 6.02.10(C)(10). NO RESIDENTIAL DRIVEWAYS SHALL BE PERMITTED WITHIN 40 FT OF AN INTERSECTION OR SHALL BE CLOSER THAN 5 FT TO AN ADJOINING PROPERTY.
 SIGNS SHALL BE PERMITTED IN ACCORDANCE WITH ARTICLE VIII OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
 *FRONT ENTRY GARAGES SHALL BE LOCATED A MINIMUM OF 30' FROM THE FRONT PROPERTY LINE PER CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES SECTION 3.1.1



CIVIL ENGINEERING LAND PLANNING		DATE	DESCRIPTION
APPIAN ENGINEERING LLC.		REV	
OVERALL GEOMETRY PLAN			
PRELIMINARY DEVELOPMENT PLAN			
EQUESTRIAN CENTER SUBDIVISION			
CITY OF APOPKA, FLORIDA			
SCALE	1" = 60'	PROJECT	AVX-001
DRAWN	J. PALM	CHECKED	L. CLASSON
DESIGNED	L. CLASSON	DATE	10/9/2017
SHEET	C2.0		

SHEET 7 OF 20
NOT FOR CONSTRUCTION





LEGEND
 - - - - - PROPERTY BOUNDARY
 - - - - - LOT LINES
 - - - - - EASEMENTS
 - - - - - SETBACKS

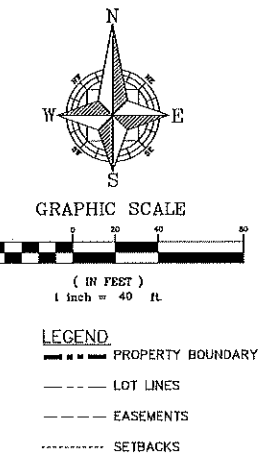
Curve Table

Curve #	Chord Length	Chord Direction	Radius
C1	22.36'	S26°46'11"W	25.00'
C2	15.81'	N71°46'11"E	25.00'
C3	49.11'	N71°05'36"E	75.00'
C4	45.96'	N34°08'26"E	75.00'
C5	21.00'	N81°5'07"E	75.00'
C6	4.17'	N1°23'22"W	75.00'
C7	24.59'	N12°25'15"W	75.00'
C8	83.81'	N55°49'36"W	75.00'
C9	35.36'	S44°47'43"E	25.00'
C10	44.31'	S2°44'40"W	500.00'
C11	22.14'	S4°00'56"W	500.00'
C12	22.18'	S1°28'33"W	500.00'
C13	35.36'	S44°47'43"E	25.00'
C14	35.36'	S45°12'17"W	25.00'
C15	35.36'	N44°47'43"W	25.00'
C16	35.36'	N45°12'17"E	25.00'

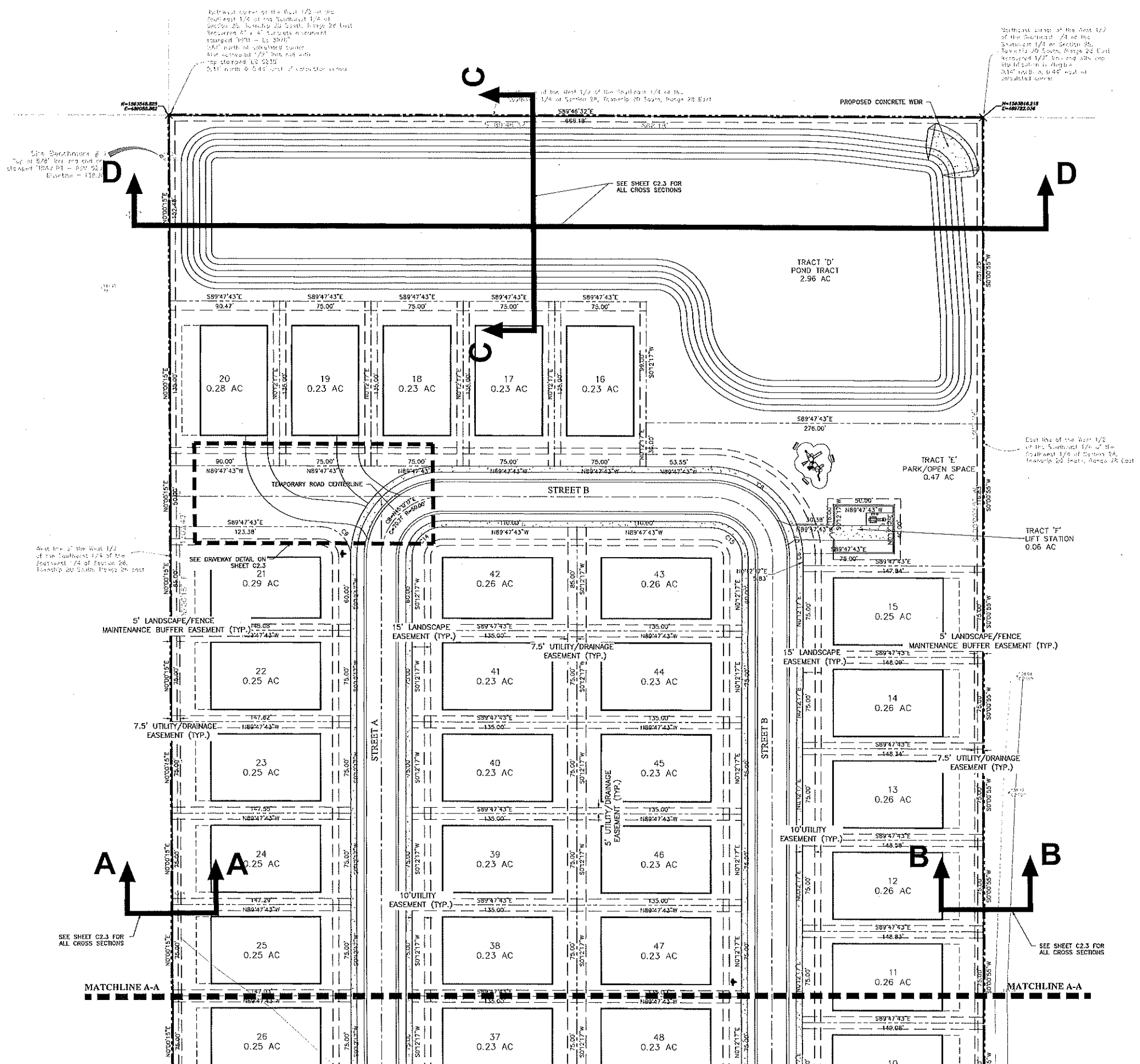
- CITY DEVELOPMENT DESIGN NOTES:**
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE II - SEC. 2.02.05 H.1 THE DEVELOPMENT IS REQUIRED TO HAVE A TEN FOOT (10') BUFFERYARD, WITH A MINIMUM SIX FOOT (6') BRICK, STONE OR DECORATIVE BRICK FINISHED WALL ERECTED INSIDE THE BUFFERYARD, ADJACENT TO EXTERNAL ROADWAYS.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.01.00 B.3 THE DEVELOPMENT IS REQUIRED TO HAVE A PROPERTY OWNERS ASSOCIATION, CONVEYED IN FEE SIMPLE OWNERSHIP, FOR LAND EXCLUSIVE OF INDIVIDUAL LOTS.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE XII - SEC. 12.02.04 C.1 A PRELIMINARY DEVELOPMENT PLAN (PDP) SUBMITTAL SHALL BE DRAWN TO A MAXIMUM SCALE OF 1" = 50'.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VIII - SEC. 8.04.15 ONE RESIDENTIAL SUBDIVISION ENTRANCE SIGN IN ACCORDANCE WITH SUBDIVISION PLAN APPROVAL ON EACH SIDE OF ENTRANCE OR ONE IN MEDIUM. THE SIGN SHALL BE A WALL SIGN OR MONUMENT SIGN. AN AREA FOR THE SIGN SHALL BE PLANNED WITHIN THE DEVELOPMENT PLAN AND SUCH AREA SHALL NOT TRUNCATE THE CORNER OF A RESIDENTIAL LOT. DETAILS OF ENTRANCE SIGN SHALL BE PROVIDED AT FINAL DEVELOPMENT PLAN.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE V - SEC. 5.01.08 REQUIRED LANDSCAPING (G) BUFFERYARDS ADJACENT TO RIGHT-OF-WAY, WITHIN BUFFER YARDS THAT ARE ADJACENT TO RIGHT-OF-WAYS, ONE CANOPY TREE MUST BE PROVIDED AT INTERVALS AND IN A FASHION DESCRIBED IN SECTION 5.01.01.B ALONG WITH A CONTINUOUS HEDGEROW WITH THE HEDGES 24 INCHES HIGH AND SPACED 36 INCHES APART.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.05.00 C.3 ON-SITE DETENTION PONDS SHALL BE DESIGNED TO ACCOMMODATE THE 25-YEAR 96-HOUR STORM. ALL FINISHED FLOOR ELEVATIONS SHALL BE CONSTRUCTED AT AN ELEVATION NO LESS THAN TWENTY INCHES (20") ABOVE THE 100 YEAR STORM ELEVATION.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.05.00 B.7 ALL RETENTION/DETENTION PONDS SHALL BE DESIGNED AS DRY BOTTOM PONDS WITH A MINIMUM BOTTOM ELEVATION OF THREE FEET (3') ABOVE THE ESTIMATED SEASONAL HIGH WATER TABLE.
 - PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.05.00 D.5 ALL PONDS SHALL HAVE ONE FOOT (1') OF FREEBOARD TO THE DESIGN HIGH WATER RESULTING FROM THE DESIGN STORM.
 - RESIDENTIAL ARCHITECTURE SHALL MEET ARTICLE VI OF THE CITY OF APOPKA'S LAND DEVELOPMENT CODE AND DEVELOPMENT DESIGN GUIDELINES. COLORED ARCHITECTURAL RENDERINGS SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN (FDP).

P:_Project Drawings\001 equisidian center (17089)\Drawings\03\Layouts\03 - preliminary development plan (pdp)\Geometry Plan.dwg Modified: 2/26/2018 By: Baker

CIVIL ENGINEERING LAND PLANNING APPIAN ENGINEERING LLC. 221 Lee Road, Suite 17, Normal Park, Florida 32769 APPIAN.COM • 407.960.5888 <small>ENGINEERING PROFESSIONALS OF FLORIDA LICENSE NO. 157</small>							
GEOMETRY PLAN - SOUTH PRELIMINARY DEVELOPMENT PLAN				EQUESTRIAN CENTER SUBDIVISION CITY OF APOPKA, FLORIDA			
DRAWN: J. PALM	DESIGNED: L. CLASSON	CHECKED: L. CLASSON	DATE: 10/19/2017	SCALE: 1" = 40'	PROJECT: AVX-001	SHEET: C2.1	BY: DATE:



TRACT DATA				
TRACT / LOT	DESCRIPTION	AREA	*BUILDABLE AREA	OWNER
TRACT 'A'	10' WALL/LANDSCAPE BUFFER	0.14 AC	-	H.O.A.
TRACT 'B'	10' WALL/LANDSCAPE BUFFER	0.03 AC	-	H.O.A.
TRACT 'C'	PUBLIC ROW	2.98 AC	-	CITY
TRACT 'D'	POND TRACT	2.96 AC	-	H.O.A.
TRACT 'E'	POCKET PARK	0.47 AC	-	H.O.A.
TRACT 'F'	LIFT STATION	0.06 AC	-	CITY
TRACT 'G'	ENTRY LANDSCAPE	0.01 AC	-	H.O.A.
LOT 1	-	0.23 AC	9,989 SF	PRIVATE
LOT 2	-	0.23 AC	10,125 SF	PRIVATE
LOT 3	-	0.23 AC	10,125 SF	PRIVATE
LOT 4	-	0.32 AC	14,050 SF	PRIVATE
LOT 5	-	0.49 AC	21,390 SF	PRIVATE
LOT 6	-	0.33 AC	14,199 SF	PRIVATE
LOT 7	-	0.26 AC	11,246 SF	PRIVATE
LOT 8	-	0.26 AC	11,228 SF	PRIVATE
LOT 9	-	0.26 AC	11,209 SF	PRIVATE
LOT 10	-	0.26 AC	11,190 SF	PRIVATE
LOT 11	-	0.26 AC	11,172 SF	PRIVATE
LOT 12	-	0.26 AC	11,153 SF	PRIVATE
LOT 13	-	0.26 AC	11,135 SF	PRIVATE
LOT 14	-	0.26 AC	11,116 SF	PRIVATE
LOT 15	-	0.25 AC	11,097 SF	PRIVATE
LOT 16	-	0.23 AC	10,125 SF	PRIVATE
LOT 17	-	0.23 AC	10,125 SF	PRIVATE
LOT 18	-	0.23 AC	10,125 SF	PRIVATE
LOT 19	-	0.23 AC	10,125 SF	PRIVATE
LOT 20	-	0.28 AC	12,182 SF	PRIVATE
LOT 21	-	0.29 AC	12,465 SF	PRIVATE
LOT 22	-	0.25 AC	11,096 SF	PRIVATE
LOT 23	-	0.25 AC	11,076 SF	PRIVATE
LOT 24	-	0.25 AC	11,057 SF	PRIVATE
LOT 25	-	0.25 AC	11,037 SF	PRIVATE
LOT 26	-	0.25 AC	11,017 SF	PRIVATE
LOT 27	-	0.25 AC	10,998 SF	PRIVATE
LOT 28	-	0.25 AC	10,978 SF	PRIVATE
LOT 29	-	0.25 AC	10,889 SF	PRIVATE
LOT 30	-	0.24 AC	10,442 SF	PRIVATE
LOT 31	-	0.23 AC	10,173 SF	PRIVATE
LOT 32	-	0.37 AC	16,117 SF	PRIVATE
LOT 33	-	0.26 AC	11,341 SF	PRIVATE
LOT 34	-	0.23 AC	10,125 SF	PRIVATE
LOT 35	-	0.23 AC	10,125 SF	PRIVATE
LOT 36	-	0.23 AC	10,125 SF	PRIVATE
LOT 37	-	0.23 AC	10,125 SF	PRIVATE
LOT 38	-	0.23 AC	10,125 SF	PRIVATE
LOT 39	-	0.23 AC	10,125 SF	PRIVATE
LOT 40	-	0.23 AC	10,125 SF	PRIVATE
LOT 41	-	0.23 AC	10,125 SF	PRIVATE
LOT 42	-	0.26 AC	11,341 SF	PRIVATE
LOT 43	-	0.26 AC	11,341 SF	PRIVATE
LOT 44	-	0.23 AC	10,125 SF	PRIVATE
LOT 45	-	0.23 AC	10,125 SF	PRIVATE
LOT 46	-	0.23 AC	10,125 SF	PRIVATE
LOT 47	-	0.23 AC	10,125 SF	PRIVATE
LOT 48	-	0.23 AC	10,125 SF	PRIVATE
LOT 49	-	0.23 AC	10,125 SF	PRIVATE
LOT 50	-	0.23 AC	10,125 SF	PRIVATE
LOT 51	-	0.23 AC	10,125 SF	PRIVATE
LOT 52	-	0.26 AC	11,341 SF	PRIVATE
TOTAL		19.91 AC		



SHEET 9 OF 20
NOT FOR CONSTRUCTION

CIVIL ENGINEERING | LAND PLANNING

APPIAN ENGINEERING LLC.

APPIAN ENGINEERING LLC.
2211 Las Road, Suite 111, Winter Park, Florida 32789
APPIAN.COM • 407.960.8688

GEOMETRY PLAN - NORTH
PRELIMINARY DEVELOPMENT PLAN
EQUESTRIAN CENTER SUBDIVISION
CITY OF APOPKA, FLORIDA

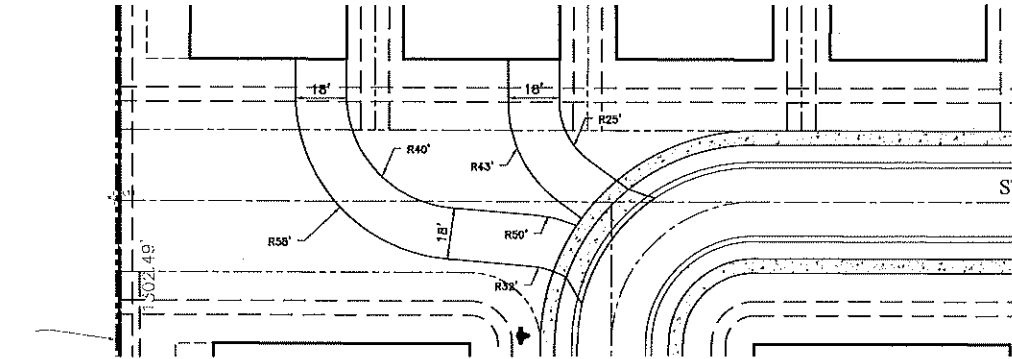
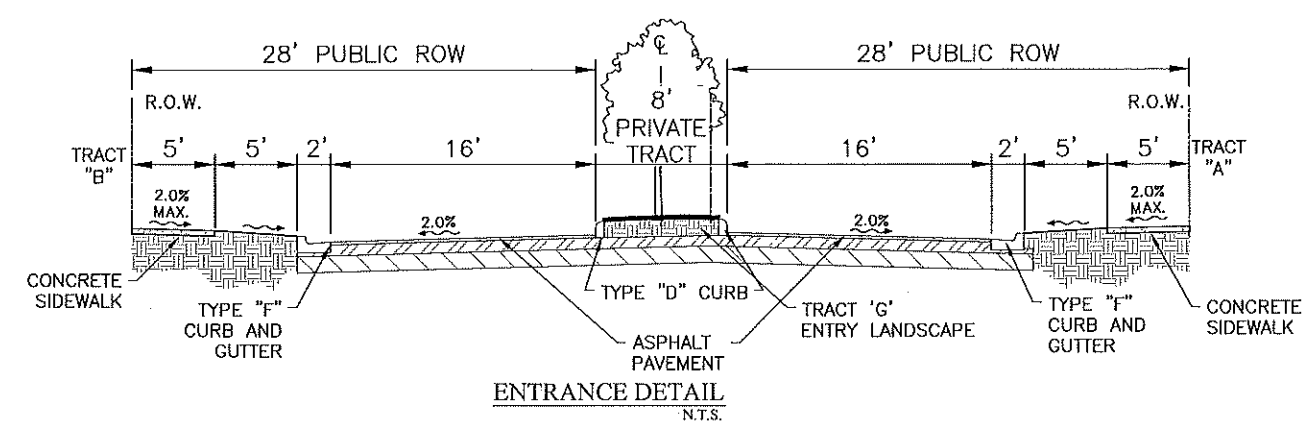
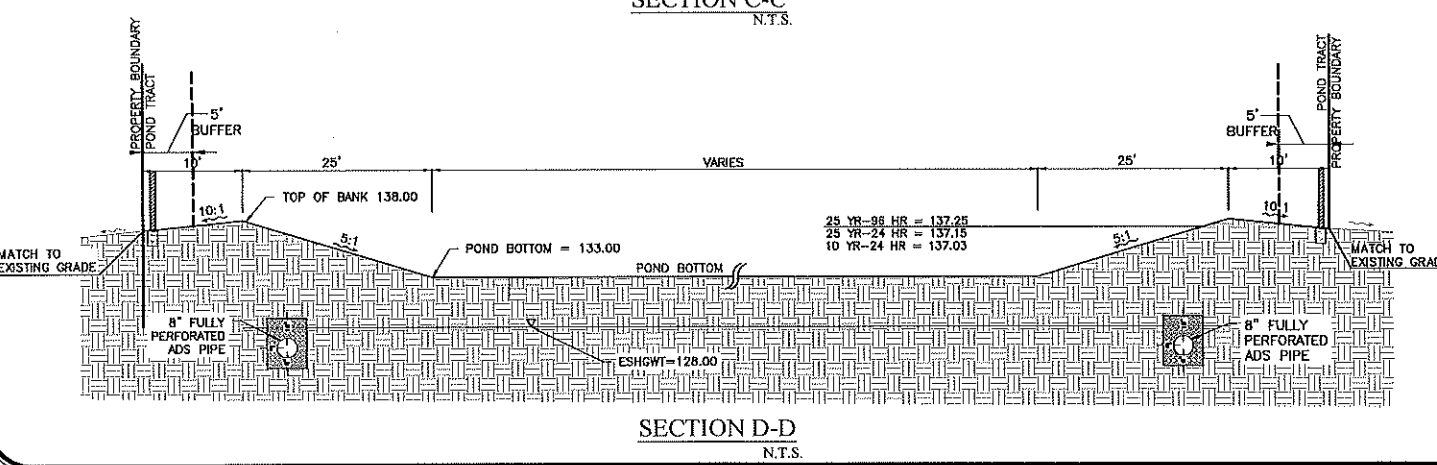
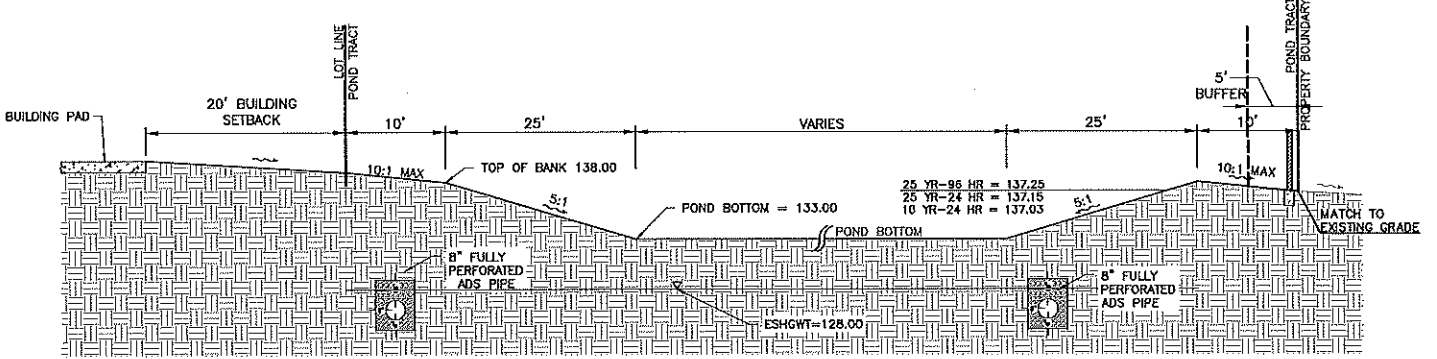
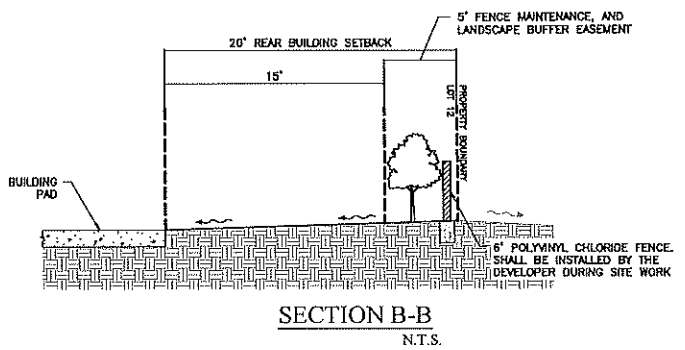
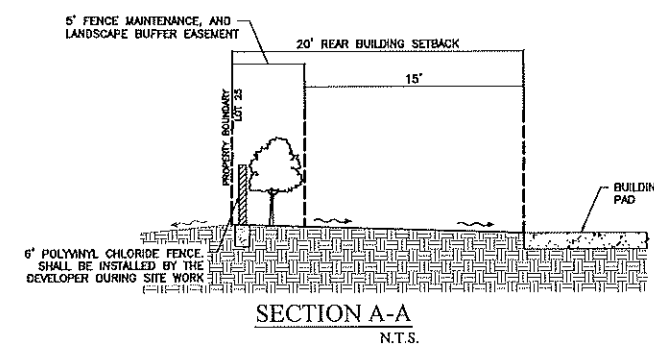
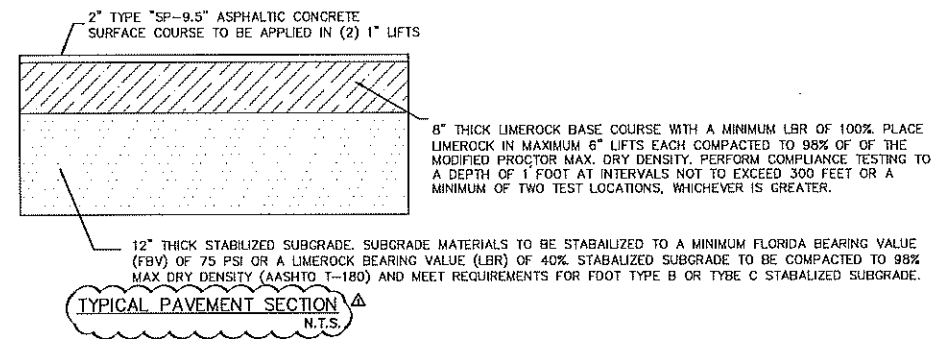
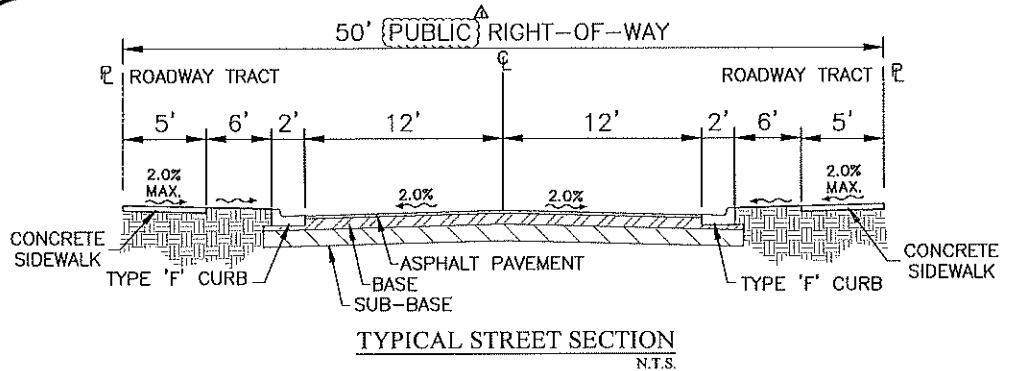
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PROJECT	AVX-001
SHEET	C.2.2
DATE	10/19/2017

DRAWN	J. PALM
DESIGNED	L. CLASSON
CHECKED	L. CLASSON
DATE	10/19/2017

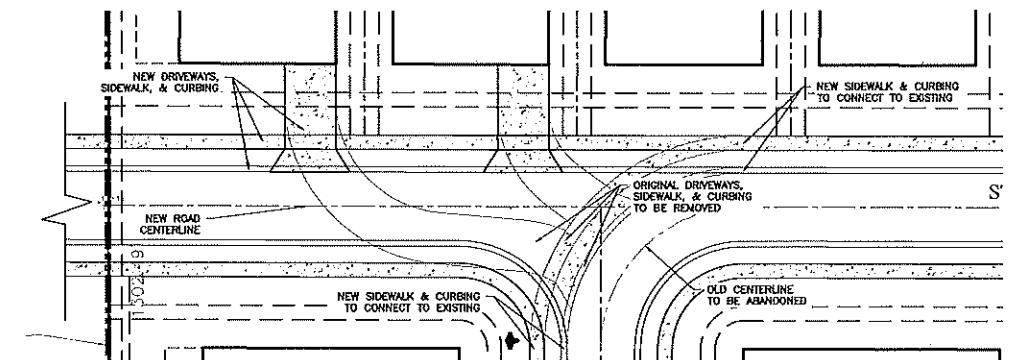
BY	
DATE	
REV	
DESCRIPTION	

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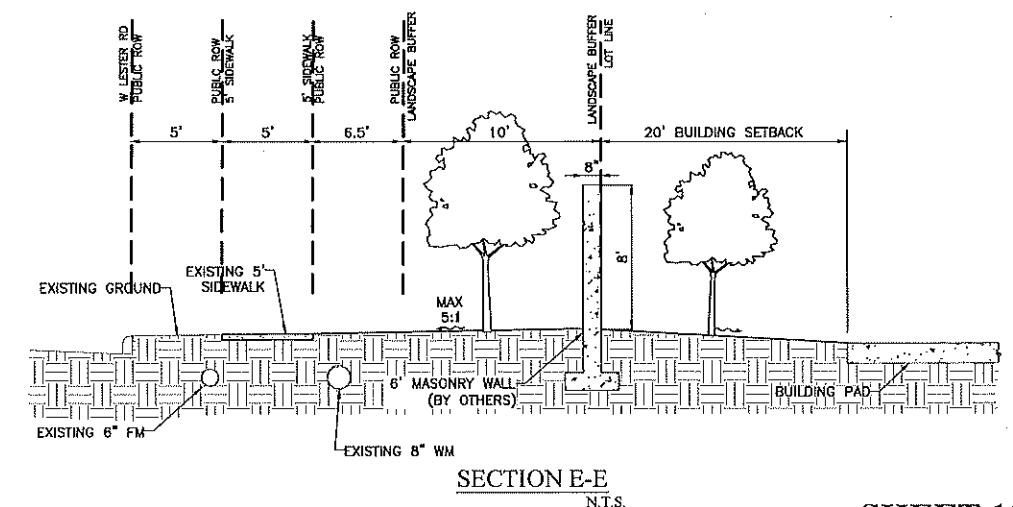
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 P:\project drawings\170889\equation center (c-170889)\Drawings\170889\equation center (c-170889)\Geometry Plan.dwg Modified: 2/26/2018 By: Baker



DRIVEWAYS TO BE CONSTRUCTED WITHIN DEDICATED PUBLIC ROW INTENDED FOR A FUTURE CONNECTION TO THE WEST. WHEN THE FUTURE ROAD CONNECTION IS CONSTRUCTED, THE DRIVEWAYS WITHIN THE ROW WILL BE RECONSTRUCTED TO CONNECT TO THE NEW ROADWAY IN FRONT OF THEIR LOTS.

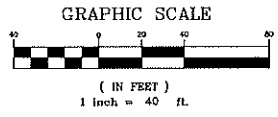
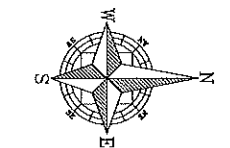
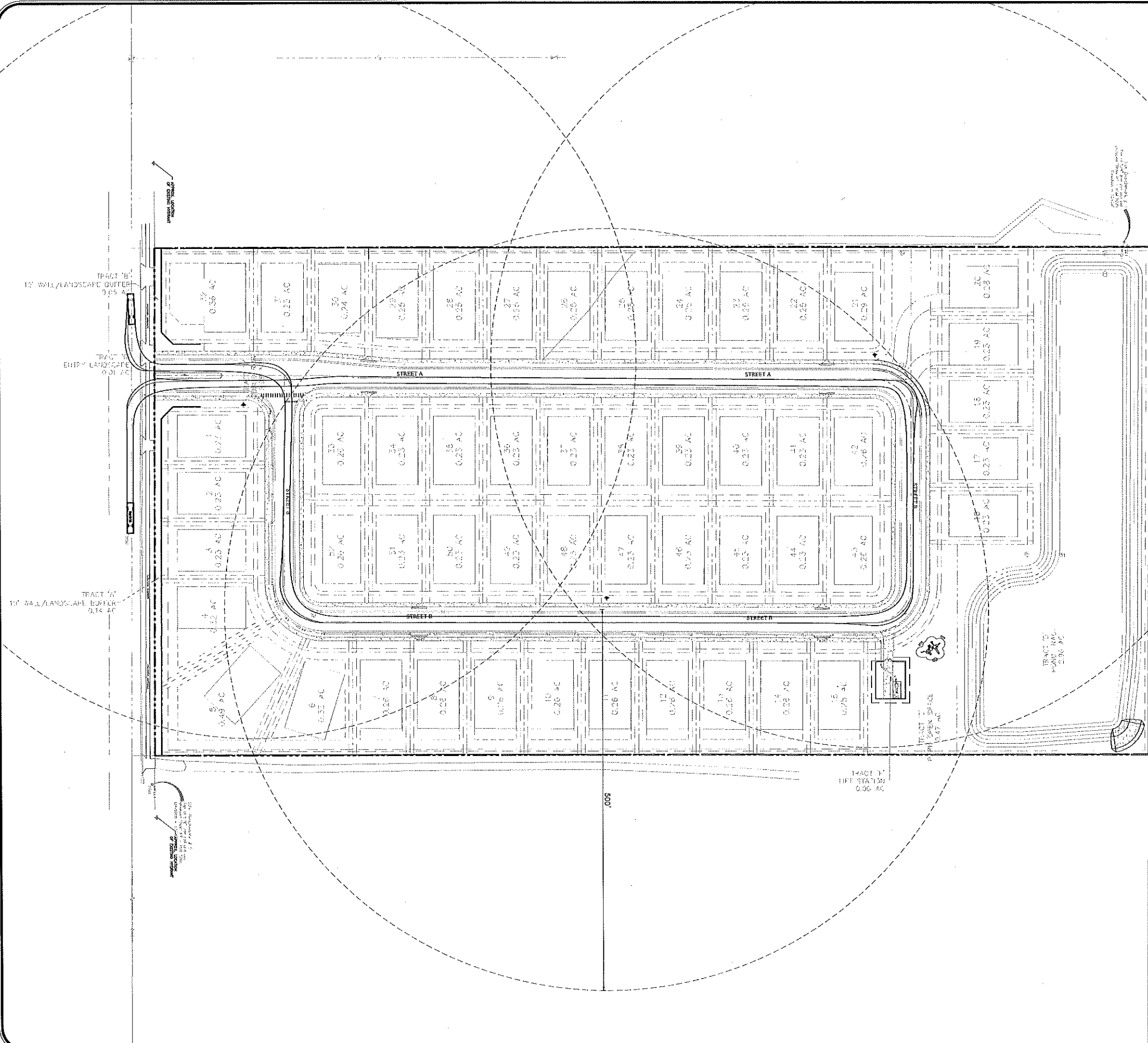


FUTURE DRIVEWAY DETAIL SHOWN FOR REFERENCE PURPOSES ONLY.

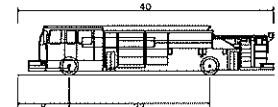


BY	
DESCRIPTION	
DATE	
REV	
CIVIL ENGINEERING LAND PLANNING	
APPIAN ENGINEERING LLC.	
APPIAN.COM • 407.960.8888	
2221 1st Road, Suite 17, Winter Park, Florida 32789	
GEOMETRY CROSS SECTIONS PRELIMINARY DEVELOPMENT PLAN EQUESTRIAN CENTER SUBDIVISION CITY OF APOPKA, FLORIDA	
DRAWN:	J. PALM
DESIGNED:	L. CLASSON
CHECKED:	L. CLASSON
DATE:	10/9/2017
SCALE:	1" = 40'
PROJECT:	AVX-001
SHEET:	C2.3
SHEET 10 OF 20 NOT FOR CONSTRUCTION	
2/26/18	

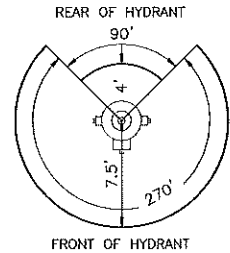
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LEGEND
 --- FIRE HYDRANT 500' RADIUS



Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 9.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



**FIRE HYDRANT CLEARANCE
 DETAIL**

FIRE ACCESS NOTES:

1. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL WEATHER DRIVING SURFACE (NFPA 1,18.2.3.4.2).
2. THE LOCATION OF THE FIRE HYDRANTS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER. (NFPA 1,18.5.10.1)

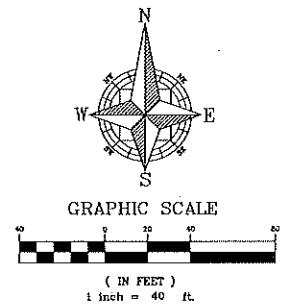
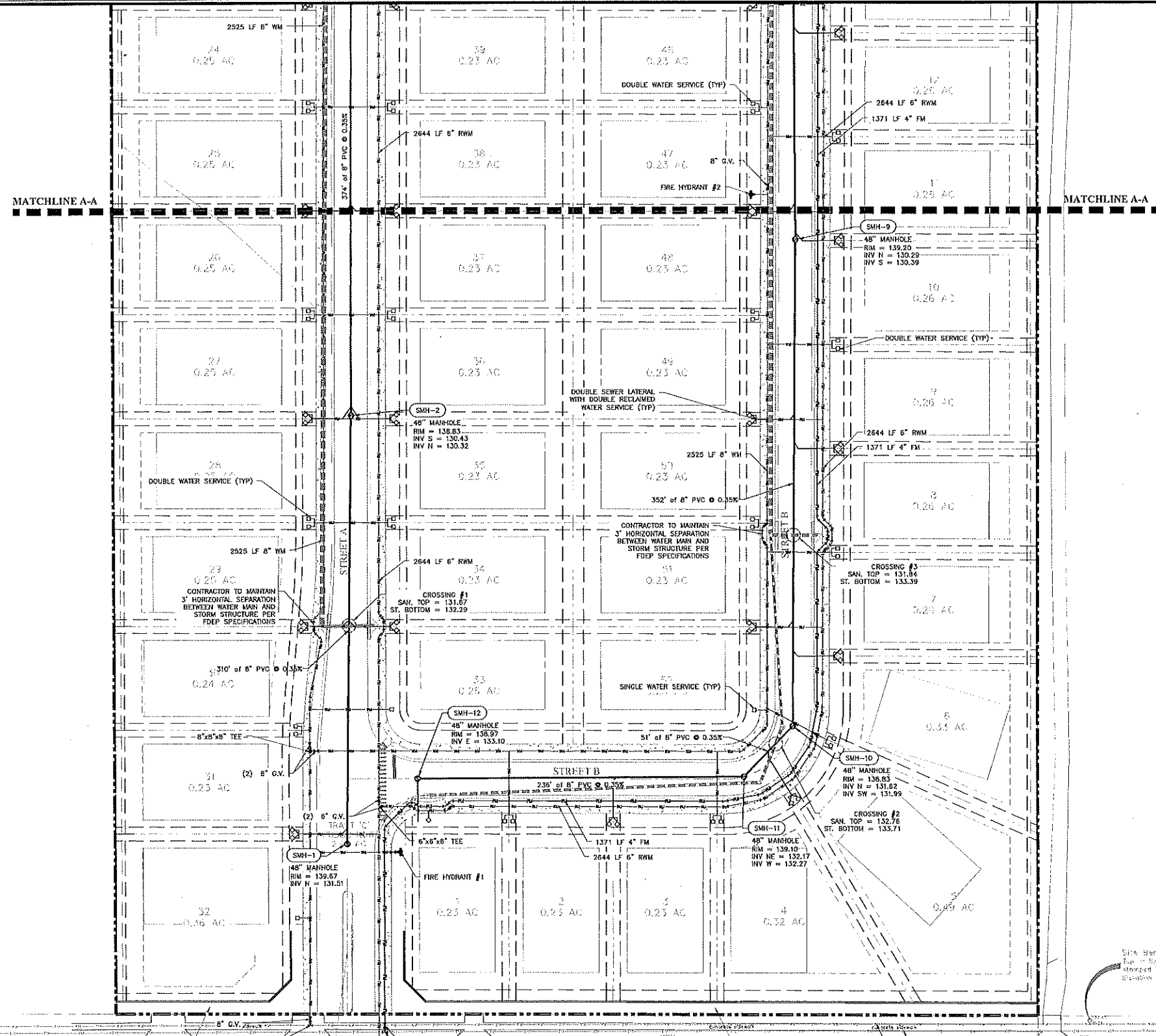
FIRE HYDRANT NOTES:

1. FIRE HYDRANT LOCATION AND DISTRIBUTION SHALL FOLLOW NFPA 1.
2. A 36 INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS EXCEPT AS OTHERWISE REQUIRED OR APPROVED. (NFPA 1, 18.5.7.1)
3. A CLEAR SPACE OF NOT LESS THAN 60 INCH SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2.5 INCH (NFPA 1, 18.5.7.2)
4. AFTER THE INSTALLATION OF THE NEW HYDRANTS, A FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS. A FIRE FLOW TEST RESULTS FROM THE NEAREST EXISTING HYDRANT THAT HAS BEEN WITNESSED BY A UTILITIES INSPECTOR WILL NEED TO BE PROVIDED. DOCUMENTATION FOR FIRE FLOW TESTING SHALL INCLUDE A FIRE FLOW TEST REPORT AND A HYDRAULIC GRAPH. (SCFSTM, FIRE FLOW TESTING PROCEDURE)
5. THE LOCATION OF THE FIRE HYDRANTS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER. ((NFPA 1,18.5.10.1)

CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.		DATE	DESCRIPTION
FIRE TRUCK ROUTE PLAN		PRELIMINARY DEVELOPMENT PLAN		REV	
EQUESTRIAN CENTER SUBDIVISION		CITY OF APOPKA, FLORIDA		DATE	DESCRIPTION
SCALE	1" = 40'	PROJECT	AVX-001	SHEET	C2.4
DESIGNED:	L. CLASSON	CHECKED:	L. CLASSON	DATE:	10/9/2017

**SHEET 11 OF 20
 NOT FOR CONSTRUCTION**

P:\project_drawing\bx-001_equestrian_center\c-17889\Drawings\lead\c3d\Layout\03 - preliminary development plan (ep) Utility Plan.dwg Modified: 2/23/2018 Bx.jed

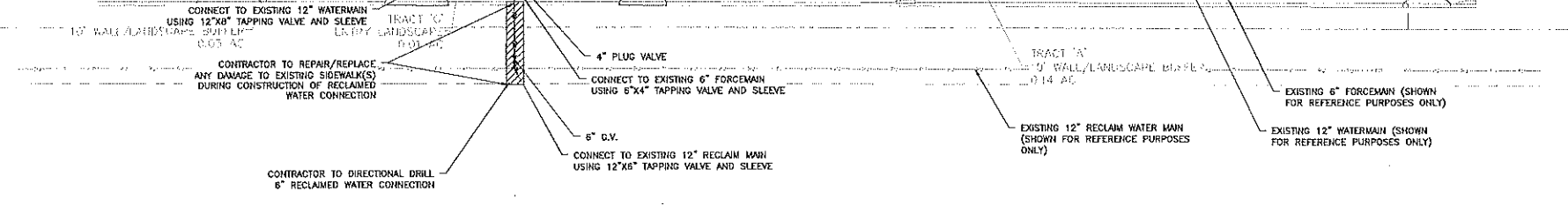


LEGEND

— FM —	PROPOSED FORCE MAIN
— WM —	PROPOSED WATER MAIN
— RU —	PROPOSED RE-USE MAIN
— S —	SANITARY PIPE
⊕	GATE VALVE
⊕	FIRE HYDRANT
⊕	TEE
⊕	2" BLOWOFF VALVE
⊕	SINGLE SERVICE
⊕	DOUBLE SERVICE
⊕	REDUCER
⊕	SINGLE SANITARY SEWER LATERAL
⊕	DOUBLE SANITARY SEWER LATERAL
⊕	SANITARY MANHOLE

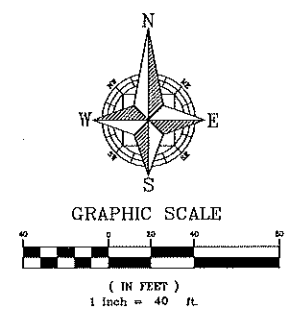
- UTILITY NOTES:**
1. ALL WATER MAINS LEADING TO A PROPOSED FIRE HYDRANT SHALL BE A MINIMUM OF 8".
 2. FIRE FLOW REQUIREMENTS FOR BUILDINGS SHALL BE IN ACCORDANCE WITH NFPA 1, SECTION 18.4.
 3. DOCUMENTATION FOR FIRE FLOW TESTING SHALL INCLUDE A FIRE FLOW REPORT AND A HYDRAULIC GRAPH.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR DEFLECTING WATER MAIN WHEN 12 INCHES (MIN.) OF SEPARATION IS NOT ACHIEVABLE TO THE FDEP UTILITY SEPARATION REQUIREMENTS AND STANDARD UTILITY CROSSING. REFER TO UTILITY NOTES SHEET FOR SEPARATION REQUIREMENTS.
 5. ALL OFF-SITE PORTIONS OF THE SANITARY SYSTEM SHALL BE INSTALLED WITH A MINIMUM COMPACTION OF 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 6. ALL GRAVITY MAINS SHALL BE SDR-35 PIPE PER THE CITY OF APOPKA MANUAL OF STANDARDS.
 7. ALL WATERMAINS SHALL BE C-900, CLASS 150, DR-18 PVC PIPE PER THE CITY OF APOPKA MANUAL OF STANDARDS.
 8. ALL FORCE MAINS SHALL BE AWWA C-900, CLASS 150, DR-25 PIPE PER THE CITY OF APOPKA MANUAL OF STANDARDS.
 9. ALL UTILITY IMPROVEMENTS SHALL BE PUBLICLY OWNED AND MAINTAINED.
 10. A BLANKET UTILITY EASEMENT OVER ALL PROPOSED UTILITY IMPROVEMENTS SHALL BE DEDICATED TO THE CITY OF APOPKA WITH THE PLAT OF THIS PROPERTY.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR DEFLECTING FORCE MAIN WHEN 12 INCHES (MIN.) OF SEPARATION IS NOT ACHIEVABLE TO THE FDEP UTILITY SEPARATION REQUIREMENTS AND STANDARD UTILITY CROSSING. REFER TO UTILITY NOTES SHEET FOR SEPARATION REQUIREMENTS.
 12. ALL METERS ARE TO BE IN THE GREEN AREA BETWEEN THE DRIVEWAYS. NO METER BOXES ARE ALLOWED IN DRIVEWAYS OR SIDEWALKS.
 13. CONTRACTOR TO PERMANENTLY MARK CURBS WHERE WATER AND SEWER SERVICE LINES AND VALVES EXIST.
 14. CONTRACTOR IS REQUIRED TO PROVIDE FIRE DEPARTMENT ACCESS AND WATER PRIOR TO ANY COMBUSTIBLES BEING BROUGHT ON SITE.
 15. EXISTING UTILITIES SHOWN FOR REFERENCE PURPOSES BASED ON CITY OF APOPKA GIS INFORMATION. CONTRACTOR TO FIELD VERIFY UTILITY LOCATIONS AND NOTIFY ENGINEER AND CITY INSPECTOR IF LOCATIONS SHOWN ARE NOT CORRECT.

- FIRE HYDRANT NOTES:**
1. FIRE HYDRANT LOCATION AND DISTRIBUTION SHALL FOLLOW NFPA 1.
 2. A 36 INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS EXCEPT AS OTHERWISE REQUIRED OR APPROVED. (NFPA 1, 18.5.7.1)
 3. A CLEAR SPACE OF NOT LESS THAN 60 INCH SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2.5 INCH (NFPA 1, 18.5.7.2)
 4. AFTER THE INSTALLATION OF THE NEW HYDRANTS, A FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS. A FIRE FLOW TEST RESULTS FROM THE NEAREST EXISTING HYDRANT THAT HAS BEEN WITNESSED BY A UTILITIES INSPECTOR WILL NEED TO BE PROVIDED. DOCUMENTATION FOR FIRE FLOW TESTING SHALL INCLUDE A FIRE FLOW TEST REPORT AND A HYDRAULIC GRAPH. (SCPSTM, FIRE FLOW TESTING PROCEDURE)
 5. THE LOCATION OF THE FIRE HYDRANTS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER. (NFPA 1, 18.5.10.1)



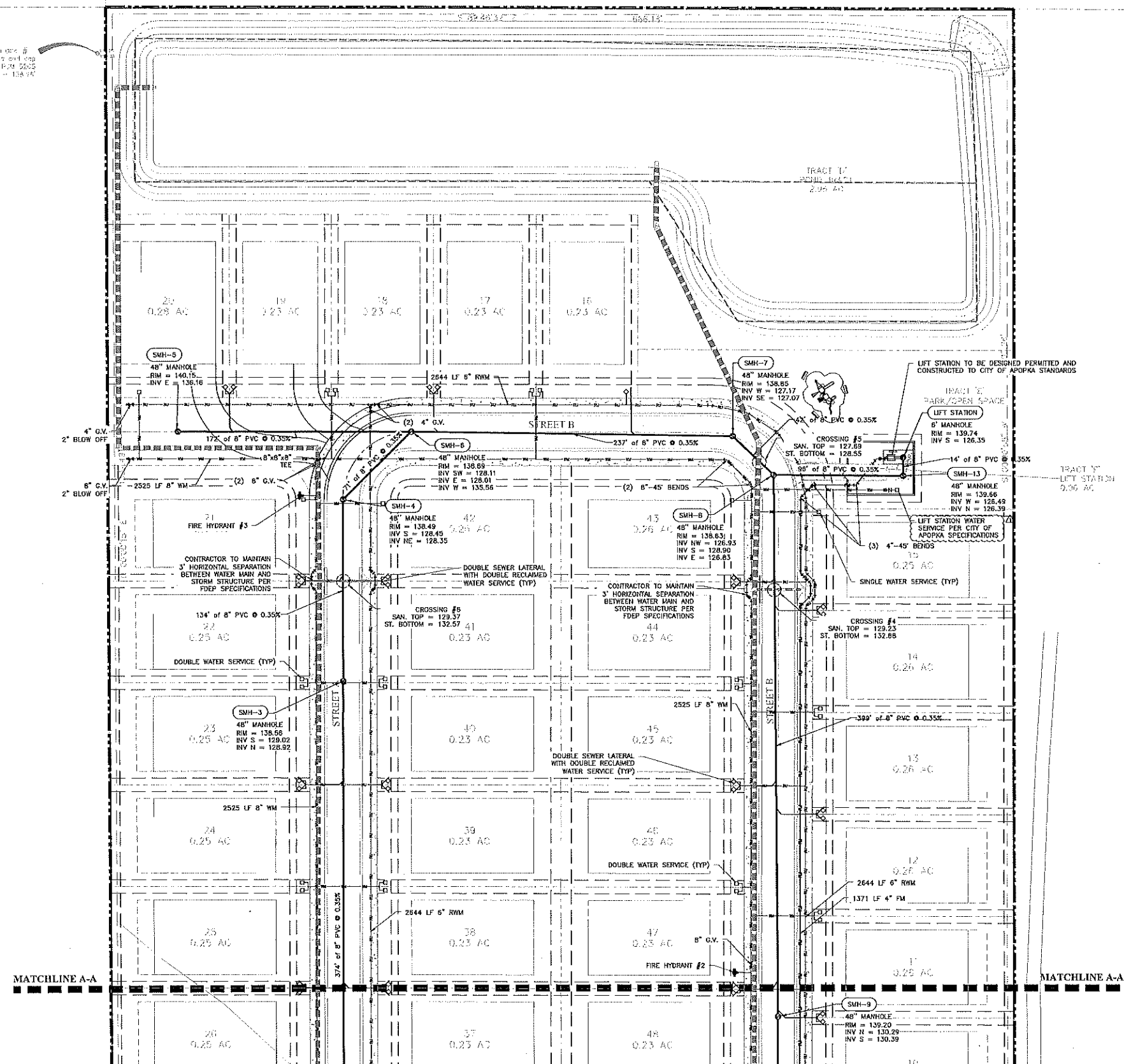
BY		DATE		REV.		DESCRIPTION	
<p>CIVIL ENGINEERING LAND PLANNING</p> <p>APPIAN ENGINEERING LLC.</p> <p>APPANEL.COM • 407.960.5868</p> <p>2211 Lee Road, Suite 17, Verona, PA, 17083</p>							
<p>UTILITY PLAN - SOUTH</p> <p>PRELIMINARY DEVELOPMENT PLAN</p> <p>EQUESTRIAN CENTER SUBDIVISION</p> <p>CITY OF APOPKA, FLORIDA</p>							
DRAWN:	DESIGNED:	CHECKED:	DATE:				
J. PALM	L. CLASSON	L. CLASSON	10/17/2017				
SCALE:	PROJECT:	SHEET:	C3.0				
1" = 40'	AVX-001						

SHEET 13 OF 20
NOT FOR CONSTRUCTION



LEGEND

— FM —	PROPOSED FORCE MAIN
— WM —	PROPOSED WATER MAIN
— RU —	PROPOSED RE-USE MAIN
— S —	SANITARY PIPE
⊕	GATE VALVE
⊕	FIRE HYDRANT
⊕	TEE
⊕	2" BLOWOFF VALVE
⊕	SINGLE SERVICE
⊕	DOUBLE SERVICE
⊕	REDUCER
⊕	SINGLE SANITARY SEWER LATERAL
⊕	DOUBLE SANITARY SEWER LATERAL
⊕	SANITARY MANHOLE



Site: Equestrian Center
 Top of 4" dia. pipe and 2" dia. pipe
 storage: 1" DIA. PT - 1" DIA. 2005
 Elevation = 134.74'

P:\project drawings\ux-001 equestrian center (p-17089)\Drawings\Lead\civil\Layouts\03 - preliminary development plan (p-17089)\Utility Plan.dwg Modified: 2/23/2018 By: jpm

CIVIL ENGINEERING & LAND PLANNING	DATE
APPIAN ENGINEERING LLC.	REV.
APPIANFL.COM • 407.960.8888	DATE
2221 Lee Road, Suite 11, Weston, FL 33391	DESCRIPTION

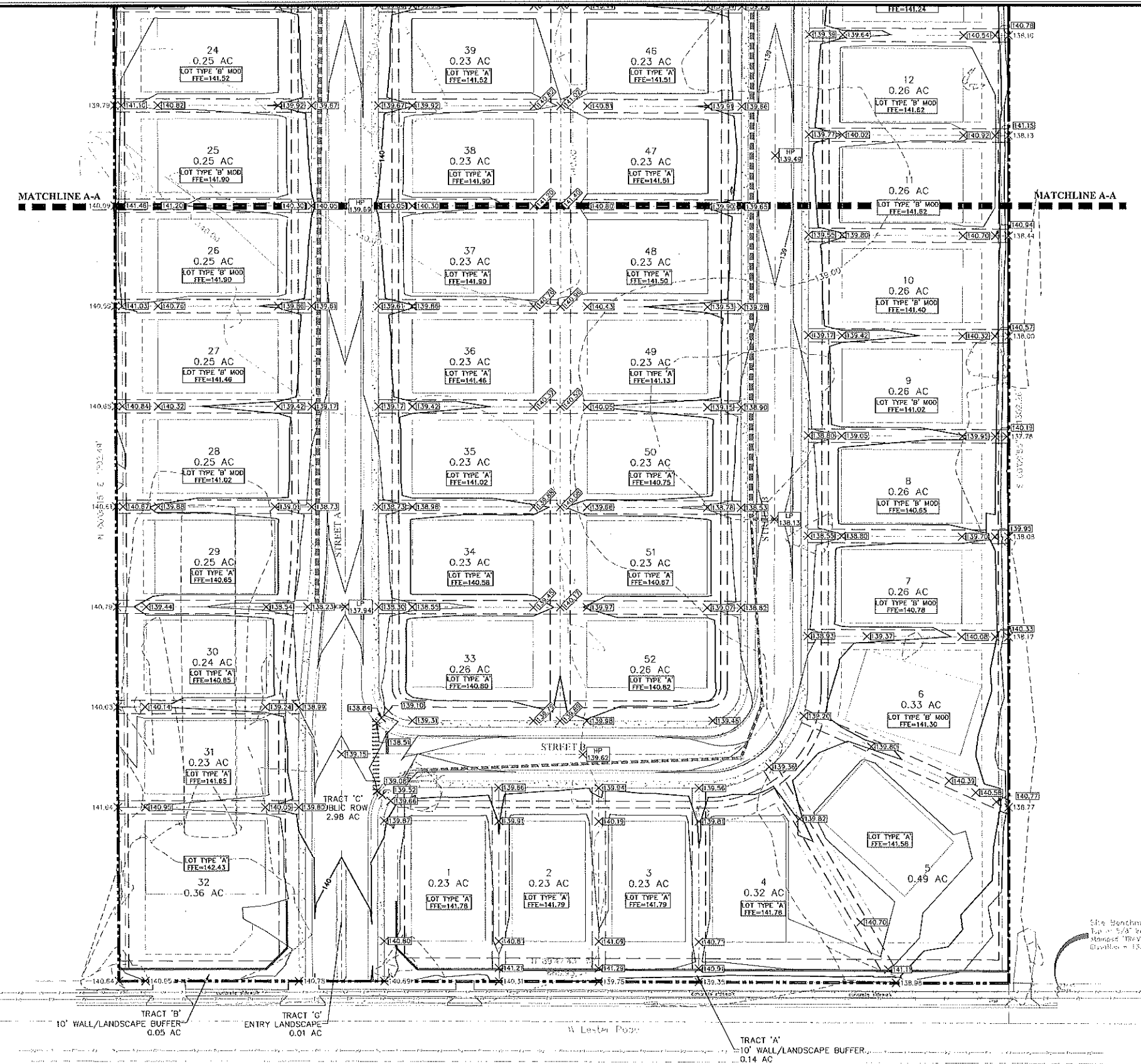
UTILITY PLAN - NORTH
 PRELIMINARY DEVELOPMENT PLAN
 EQUESTRIAN CENTER SUBDIVISION
 CITY OF APOPKA, FLORIDA

SCALE	1" = 40'
PROJECT	AVX-001
SHEET	C3.1
DATE	10/11/2017



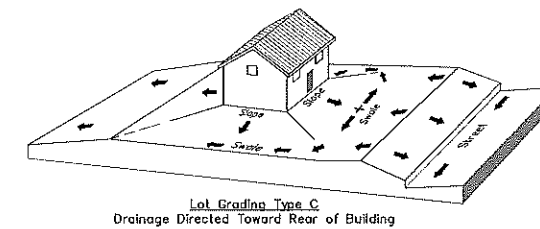
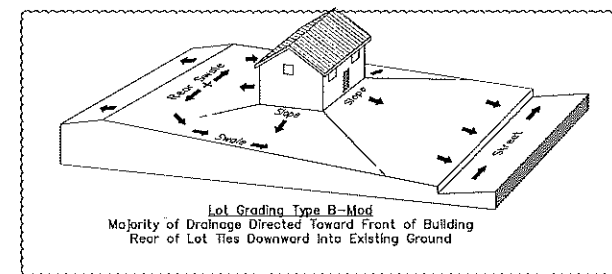
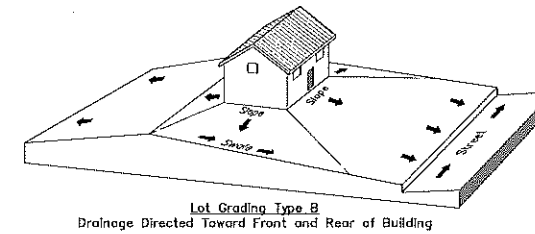
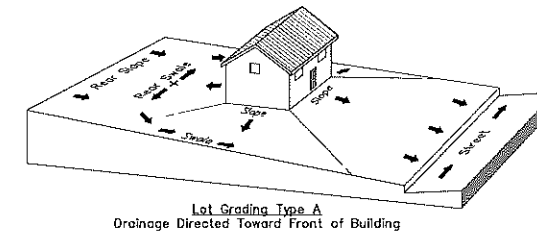
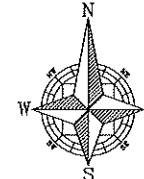
SHEET 14 OF 20
NOT FOR CONSTRUCTION

P:\project\drawings\low-001 equation center (5-17089)\Drawings\low-001\Layouts\03 - preliminary development plan (pub)\Paving & Grading Plan.dwg Modified: 2/23/2018 By: Palm



GRADING PLAN LEGEND:

- ✕ PROPOSED GRADE
- - - EXISTING GRADE
- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- ↘ SURFACE DRAINAGE FLOW ARROW
- ▬ PROPOSED SWALE



GRADING NOTES:

1. ALL GRADED LOTS SHALL PROVIDE A MINIMUM OF 2.0% SLOPE AWAY FROM THE HOUSE FOR A MINIMUM OF 5 FEET ON ALL SIDES
2. FINISH FLOOR TO BE SET 1' ABOVE THE DESIGN HIGH WATER ELEVATION OF ADJACENT STORMWATER RETENTION / DETENTION PONDS
3. ADDITIONAL GEOTECHNICAL DATA TO BE PROVIDED AT FINAL DEVELOPMENT PLAN TO DETERMINE OVEREXCAVATION AREAS.
4. PER CITY OF APOPKA DESIGN GUIDELINES, NO LOTS SHALL BE ALLOWED TO DRAIN ACROSS ADJACENT LOTS.
5. A SLOPE STABILITY ANALYSIS FOR AREAS WITH A SLOPE OF 3H:1V SHALL BE PROVIDED AT FINAL DEVELOPMENT PLAN IF REQUIRED.
6. CONTRACTOR TO CONSTRUCT ALL FINISHED PADS TO BE 6" BELOW F.F.E.

REV.	DATE	DESCRIPTION	BY

CIVIL ENGINEERING | LAND PLANNING

APPIAN ENGINEERING LLC.

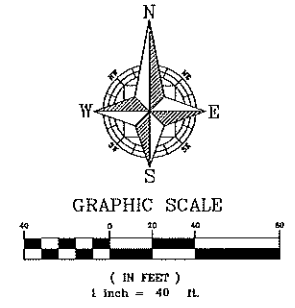
2221 Lee Road, Suite 13, White Oak, Florida 32789
OFFICE OF APPOPKA CITY ENGINEER

APPIAN.COM • 407.960.5868

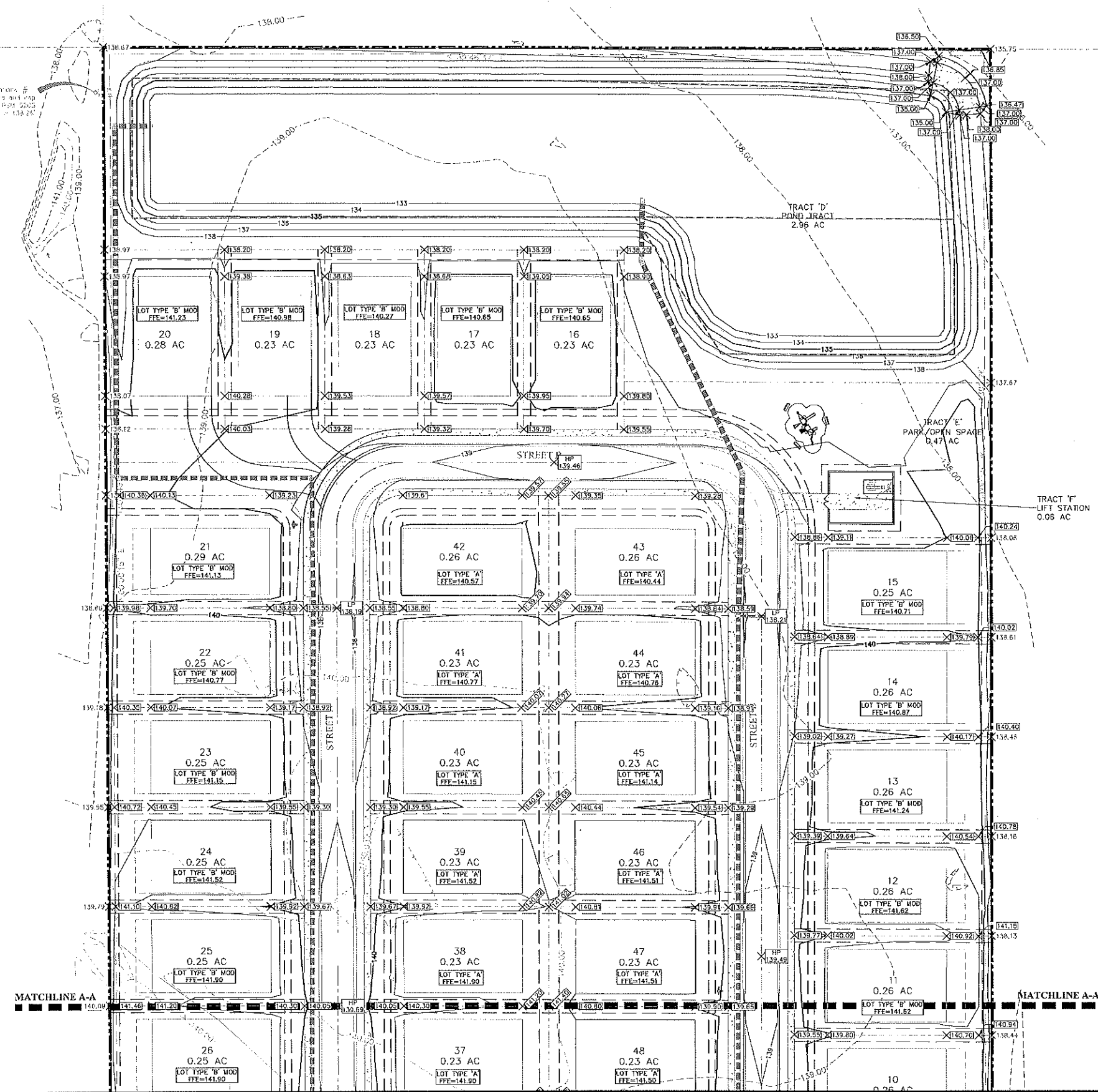
PAVING & GRADING PLAN – SOUTH
PRELIMINARY DEVELOPMENT PLAN
EQUESTRIAN CENTER SUBDIVISION
CITY OF APOPKA, FLORIDA

SCALE	1" = 40'
DESIGNER	J. PALM
DESIGNED	L. CLASSON
CHECKED	AVX-001
DATE	10/13/2017
SHEET	C4.0





- GRADING PLAN LEGEND:**
- PROPOSED GRADE
 - EXISTING GRADE
 - PROPOSED CONTOUR
 - EXISTING CONTOUR
 - SURFACE DRAINAGE FLOW ARROW
 - PROPOSED SWALE



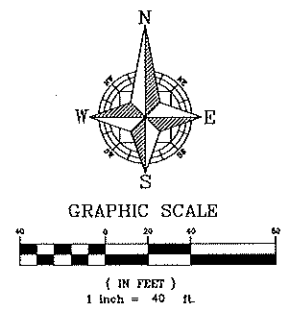
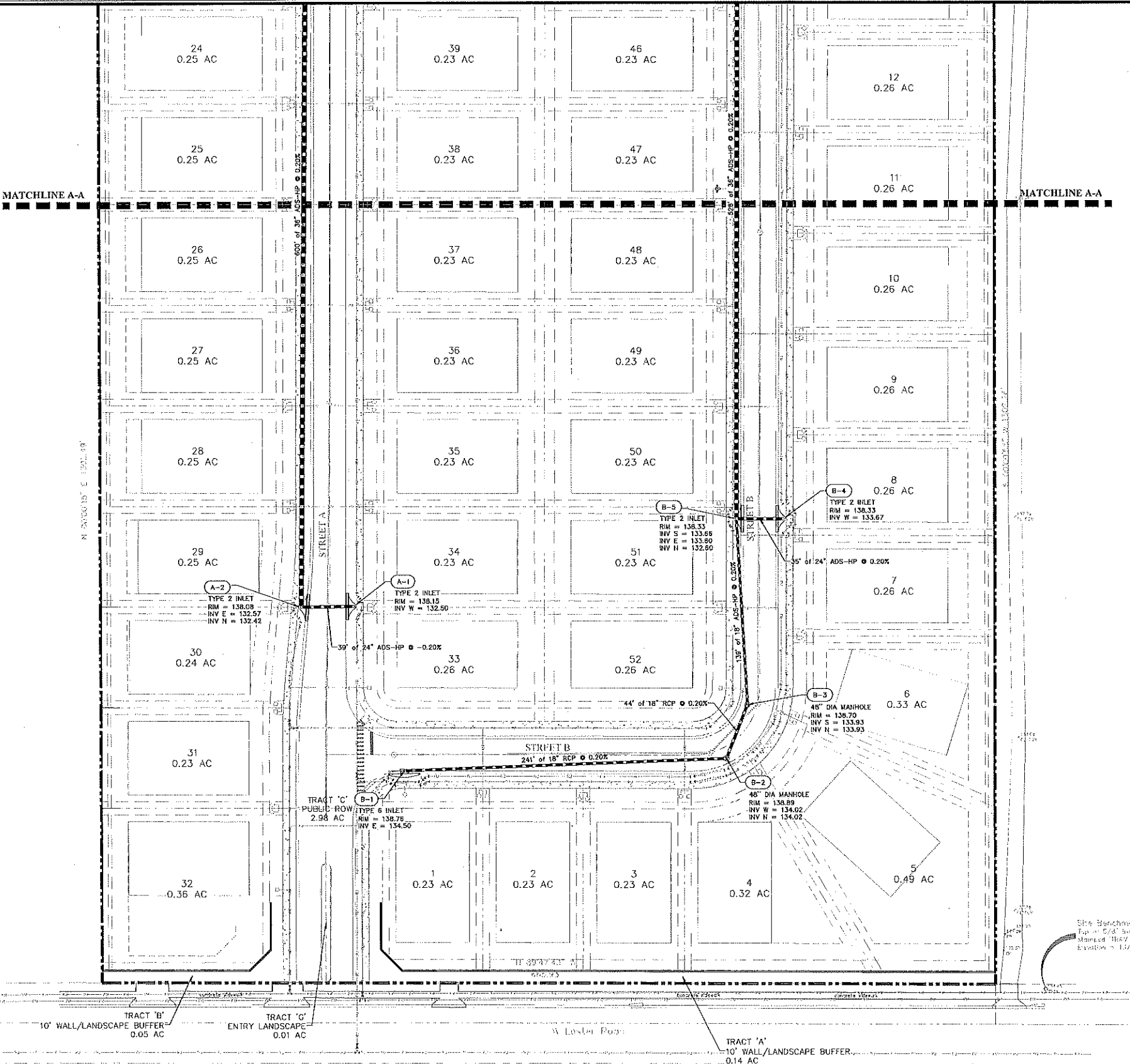
Site Reference #
 Lot of 3/4" from 2011/09
 street "WAY PT - P.M. 2505
 Distance = 138.24'

CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.		DATE
PAVING & GRADING PLAN - NORTH		PRELIMINARY DEVELOPMENT PLAN		REV.
EQUESTRIAN CENTER SUBDIVISION		CITY OF APOPKA, FLORIDA		DATE
SCALE:	1" = 40'	DRAWN:	J. PALM	DATE:
PROJECT:	AVX-001	DESIGNED:	L. CLASSON	10/13/2017
SHEET:	C4.1	CHECKED:	L. CLASSON	

SHEET 16 OF 20
NOT FOR CONSTRUCTION

P:\project_drawing\avx-001_equestrian_center (p-170989)\Drawings\Lead\civil\Layout\03 - preliminary_development_plan (pdp)\Paving & Grading Plan.dwg Modified: 2/23/2018 By: j.palm

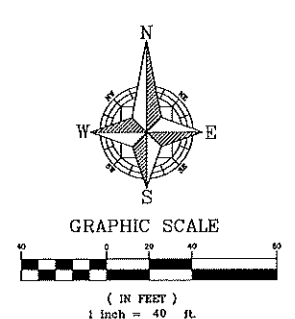
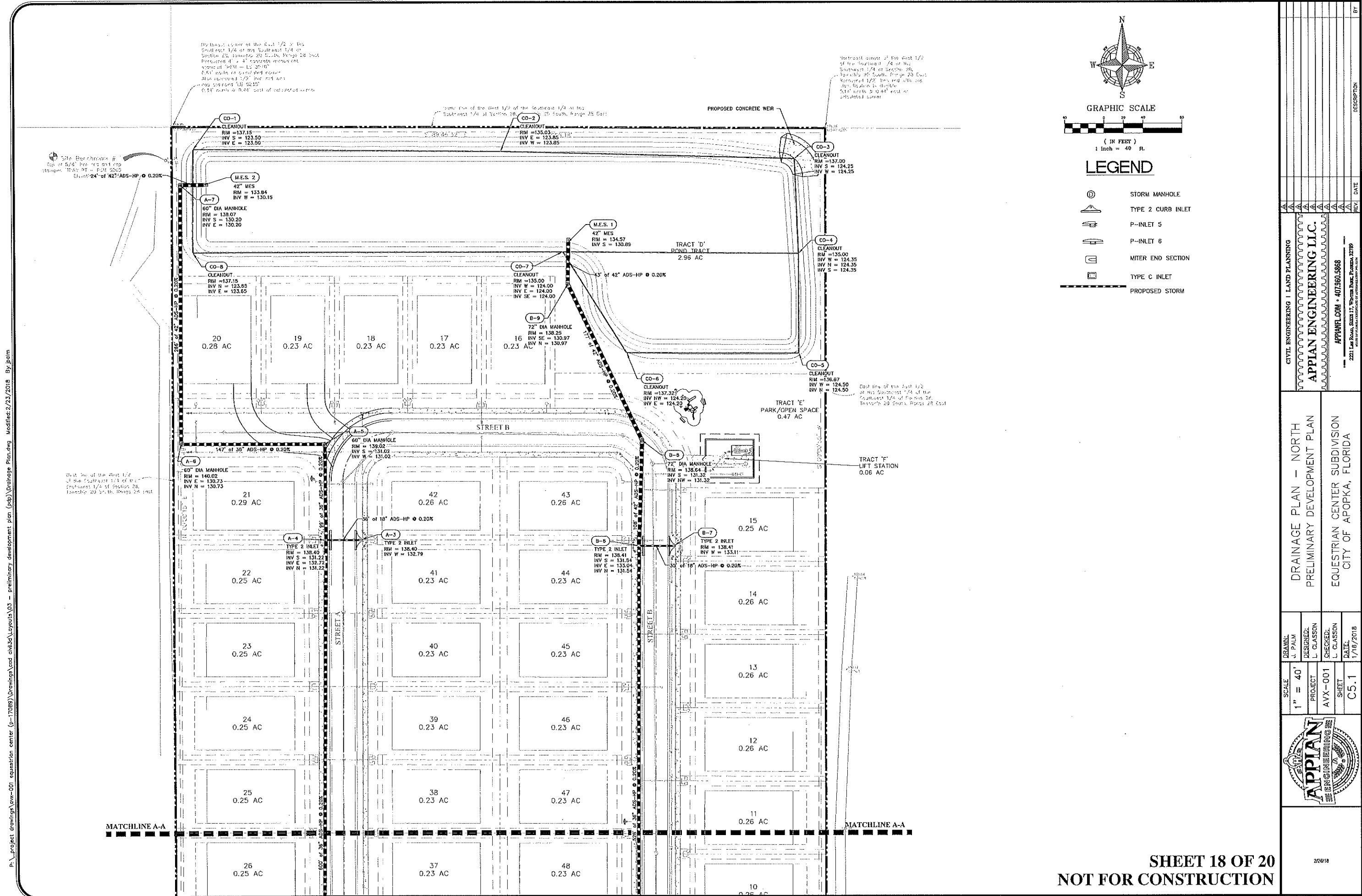
P:\project_drawing\dwg-001 equitation center (s-17089)\Drawings\lead\equitation\Layouts\03 - preliminary development plan (osp)\Drainage Plan.dwg Modified: 2/23/2018 By: pdm



- LEGEND**
- STORM MANHOLE
 - TYPE 2 CURB INLET
 - P-INLET 5
 - P-INLET 6
 - MITER END SECTION
 - TYPE C INLET
 - PROPOSED STORM

- DRAINAGE NOTES:**
1. ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS OTHERWISE SPECIFIED.
 2. ALL REINFORCED CONCRETE PIPE (RCP) JOINTS SHALL BE WRAPPED PER FDOT 2017-2018 STANDARD INDEX 280
 3. ALL ADS-HP PIPE JOINTS ARE TO BE WRAPPED PER MANUFACTURERS SPECIFICATIONS.
 4. ALL DRAINAGE STRUCTURE INVERTS ARE TO BE POURED PER FDOT 2017-2018 STANDARD INDEX 201.
 5. PIPE MATERIAL TO BE REVIEWED AND CONFIRMED BY PUBLIC WORKS DEPARTMENT DURING FINAL DEVELOPMENT PLAN REVIEW.

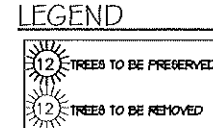
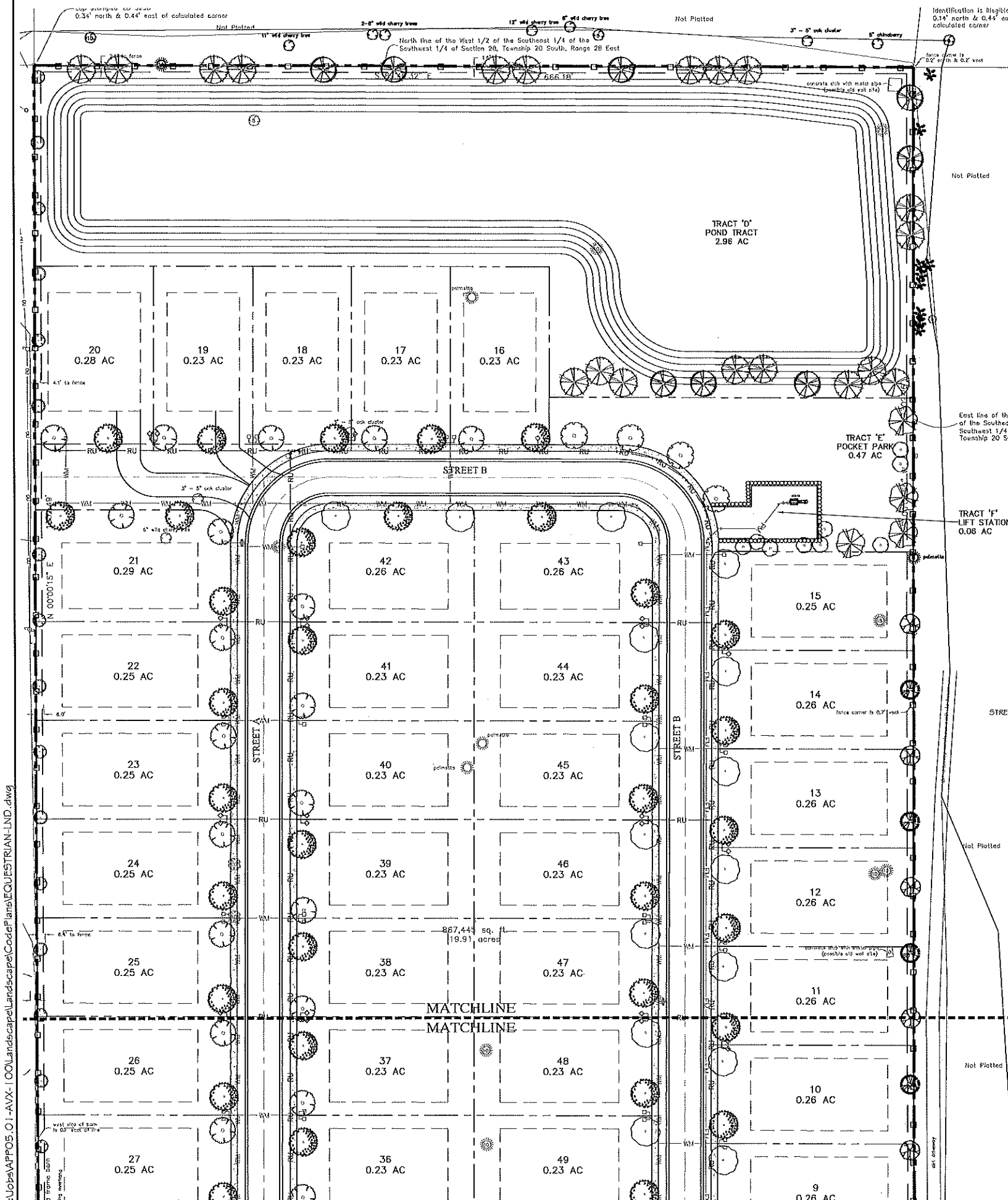
CIVIL ENGINEERING LAND PLANNING	APPIAN ENGINEERING LLC.		APPANEL.COM - 407.960.8888		2221 Lee Road, Suite 17, Weston, FL 33391, USA		
DRAINAGE PLAN - SOUTH PRELIMINARY DEVELOPMENT PLAN				EQUESTRIAN CENTER SUBDIVISION CITY OF APOPKA, FLORIDA			
DRAWN: J. PALM	DESIGNED: L. CLASSON	CHECKED: L. CLASSON	DATE: 1/19/2018				
SCALE: 1" = 40'	PROJECT: AVX-001	SHEET: C5.0					
							BY
							DATE
							REV.
							DESCRIPTION



- LEGEND**
- ⊕ STORM MANHOLE
 - ⌒ TYPE 2 CURB INLET
 - ⌒ P-INLET 5
 - ⌒ P-INLET 6
 - ⌒ MITER END SECTION
 - ⌒ TYPE C INLET
 - PROPOSED STORM

P:\project drawings\dev-001 equestrian center (p-17088)\Drawings\cad\civil\layouts\03 - preliminary development plan (pdp)\Drainage Plan.dwg Modified: 2/23/2018 By: joim

	APPIAN ENGINEERING LLC. CIVIL ENGINEERING LAND PLANNING 2221 Lee Road, Suite 15, Weston, FL 33326 APPIAN.COM • 407.960.8868 <small>REGISTERED PROFESSIONAL ENGINEER</small>								DATE REV.	DESCRIPTION	
DRAINAGE PLAN - NORTH PRELIMINARY DEVELOPMENT PLAN EQUESTRIAN CENTER SUBDIVISION CITY OF APOPKA, FLORIDA											
SCALE 1" = 40'	DRAWN: J. PALM	DESIGNED: L. CLASSON	CHECKED: L. CLASSON	DATE: 1/18/2018						SHEET AVX-001	C5.1
SHEET 18 OF 20 NOT FOR CONSTRUCTION											



TREE MITIGATION

LOT TREES REQUIRED:
 TOTAL NUMBER OF LOTS: 52
 TREE INCHES REQUIRED PER LOT: 9" DBH
 TOTAL TREE INCHES REQUIRED: 468" DBH

INDIVIDUAL LOT TREES SHALL CONSIST OF TWO CANOPY TREES AND ONE UNDERSTORY TREE. INDIVIDUAL LOT TREES SHALL BE INSTALLED WHEN THE LOT IS DEVELOPED.

REPLACEMENT/REMOVAL TABLE:
 Total inches on current, non-affected site: 222" dbh
 Total inches removed: 0
 Total inches retained: 208" dbh
 Total specimen inches retained: 0" dbh
 Total inches required: 208" dbh
 Total inches replaced: 208" dbh
 Total inches post development: 657.5" dbh
 Maximum tree stock formula and calculations: 3,036' dbh/ 4,337' dbh Specimen Trees
 Site clearing area in square feet and acres: 867,467 SF/ 19.9 AC

TREE REMOVAL CHART

COUNT	SIZE	SPECIES
3	3"-5"	OAK
1	4"	OAK
1	5"	OAK
1	6"	OAK
3	10"	OAK
1	14"	OAK
1	6"	PALM
7	10"	PALM
1	12"	PALM
1	15"	PALM
1	6"	CHERRY
2	8"	SAGO PALM

TOTAL INCHES: 208"

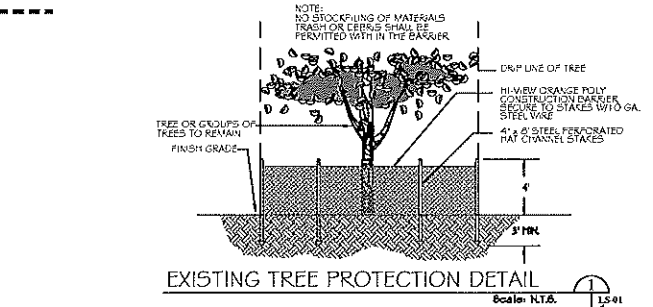
TREE PRESERVATION CHART

COUNT	SIZE	SPECIES
1	14"	PALM

TOTAL INCHES: 14"

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	8	Acer rubrum 'October Glory'™	'October Glory' Maple	65 gal	2.5" DBH	15' HT.	
	4	Liquidambar styraciflua	Sweet Gum	65 gal	3" DBH	15' HT.	
	29	Platanus occidentalis	Sycamore	65 gal	3" DBH	15' HT.	
	19	Taxodium distichum	Bald Cypress	65 gal	3" DBH	15' HT.	
	9	Ulmus americana 'Flordana'	Florida Elm	65 gal	3" Cal	12' HT.	
	9	Ulmus parvifolia	Chinese Elm	65 gal	3" DBH	10'-12' HT.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	9	Juniperus silicicola	Southern Red Cedar	65 gal	3" Cal	12' HT.	
	12	Ligustrum japonicum	Japanese Privet	65 gal	2.5" Cal	8'-10' H	
	56	Quercus virginiana	Southern Live Oak	65 gal	3" DBH	12' HT.	
	10	Quercus virginiana 'Cathedral'	Cathedral Live Oak	65 gal	3" Cal	12' HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	13	Lagerstroemia indica 'Dwarf Red'	Dwarf Red Crapa myrtle	30 gal	2.5" Cal	8'-10' H	
	27	Magnolia grandiflora	Southern Magnolia	65 gal	3" DBH	12' HT.	
	4	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Southern Magnolia	65 gal	3" Cal	12' HT.	
	11	Magnolia grandiflora 'Majestic Beauty'™	Southern Magnolia	65 gal	3" DBH	10'-12' HT.	
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	4	Phoenix sylvestris	Wild Date Palm	FG		12' C.T.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
	211	Feyoa sellowiana	Pineapple Guava	3 gal			30" ht. x 24"-30" spd., 36" O.C.
	76	Viburnum obovatum	Walter's Viburnum	3 gal			24" ht. x 24"-30" spd., 30" O.C.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	REMARKS
	70	Dianella revoluta 'Vanegated'	Vanegated Flax Lily	1 gal			12"-15" ht., 5-6 ppp., 24" O.C.



NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

Signature: *[Signature]* LA0001764 10/30/17
 REG. NO. DATE

Landscape Designs, LLC

■ Landscape Architecture
 ■ Site Planning

4465 Gabriella Lane
 Winter Park, FL 32792
 PH: (407) 484-3414
 FX: (407) 671-1604

PROJECT AND OWNER

AVEX HOMES EQUESTRIAN CENTER
 City of Apopka Florida

Applan Engineering, LLC
 2221 Lee Road, Suite 17
 Winter Park, FL 32789
 PH: (407) 960-5858

CONSULTANTS

LANDSCAPE ARCHITECT
 CARL J. KELLY JR., RLA

REG. #: 0001764

PROJECT NO. APP05.01
 DESIGNED BY CJK
 DRAWN BY CJK
 CHECKED BY CJK
 DATE 10/30/17

ISSUED FOR:
 01/18/18 Site Changes
 02/14/18 City Comments

DRAWING SCALE

0 FT 20' 40' North
 SCALE: 1"=40'-0"

DRAWING TITLE

LANDSCAPE SITE PLAN & TREE MITIGATION

DRAWING NUMBER

LS-01

SHEET 19 OF 20

C:\Jobs\AP05.01-AVX-100\landscape\SitePlan\EQUESTRIAN_LND.dwg



Landscape Designs, LLC

■ Landscape Architecture
■ Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
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LANDSCAPE ARCHITECT
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PROJECT NO. APP05.01
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 10/30/17

ISSUED FOR:
01/18/18 Site Changes
02/14/18 City Comments

DRAWING SCALE



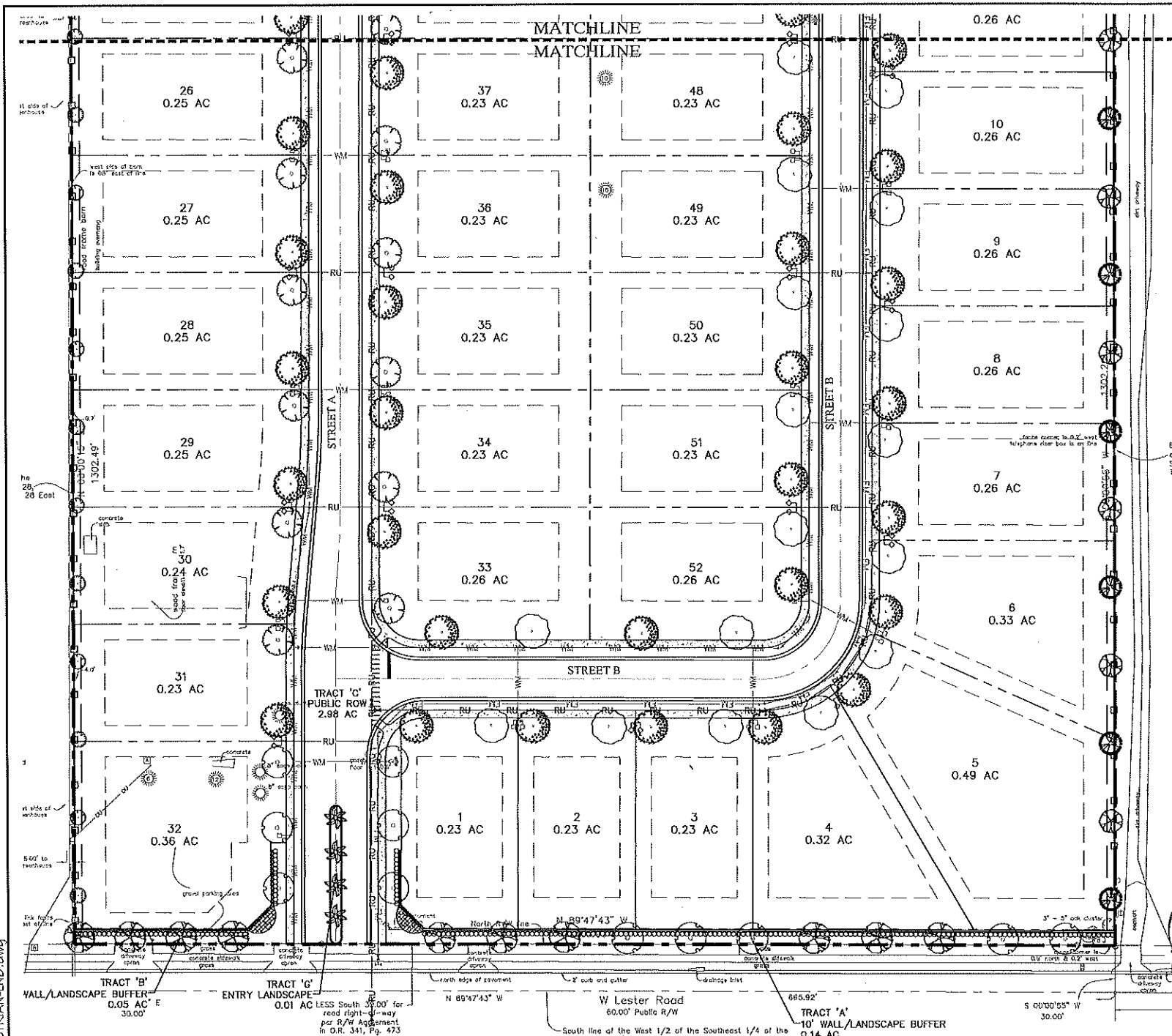
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LANDSCAPE SITE PLAN & TREE MITIGATION

DRAWING NUMBER

LS-02

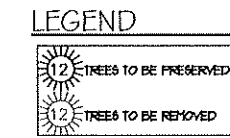
SHEET 20 OF 20



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	8	Acer rubrum 'October Glory' TM	'October Glory' Maple	65 gal	2.5' DBH	15' HT.	
	4	Liquidambar styraciflua	Sweet Gum	65 gal	3' DBH	15' HT.	
	29	Platanus occidentalis	Sycamore	65 gal	3' DBH	15' HT.	
	19	Taxodium distichum	Bald Cypress	65 gal	3' DBH	15' HT.	
	9	Ulmus americana 'Flordana'	Florida Elm	65 gal	3' Cal	12' HT.	
	9	Ulmus parvifolia	Chinese Elm	65 gal	3' DBH	10'-12' HT.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	9	Juniperus sibirica	Southern Red Cedar	65 gal	3' Cal	12' HT.	
	12	Ligustrum japonicum	Japanese Privet	65 gal	2.5' Cal	8'-10' H	
	56	Quercus virginiana	Southern Live Oak	65 gal	3' DBH	12' HT.	
	10	Quercus virginiana 'Cathedral'	Cathedral Live Oak	65 gal	3' Cal	12' HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	13	Lagerstroemia indica 'Dwarf Red'	Dwarf Red Crape myrtle	30 gal	2.5' Cal	8'-10' H	
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	4	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Southern Magnolia	65 gal	3' Cal	12' HT.	
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PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	4	Phoenix sylvestris	Wild Date Palm	FG		12' C.T.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
	211	Feyoa sellowiana	Pineapple Guava	3 gal			30' ht. x 24'-30' spd., 36" O.C.
	76	Viburnum obovatum	Walker's Viburnum	3 gal			24' ht. x 24'-30' spd., 30" O.C.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	REMARKS
	78	Danella revoluta 'Vanegated'	Vanegated Flax Lily	1 gal			12'-15' ht., 5-6 spp., 24" O.C.

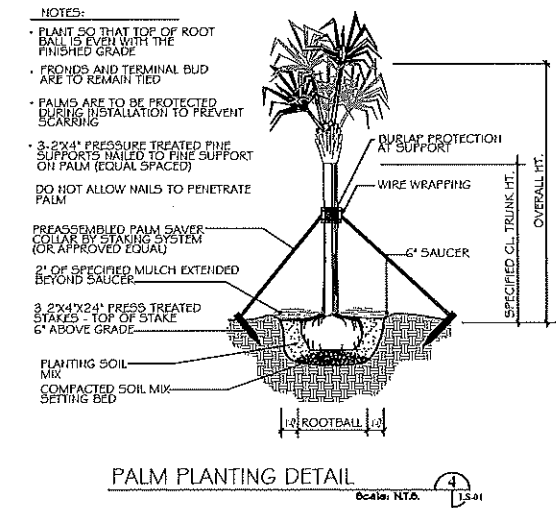
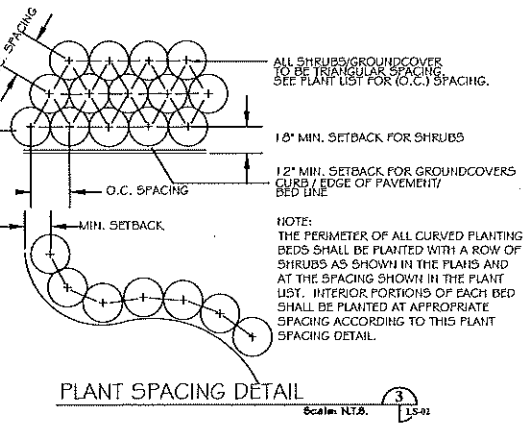
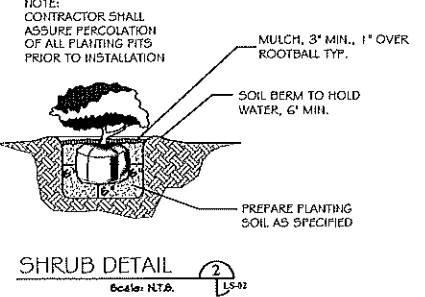
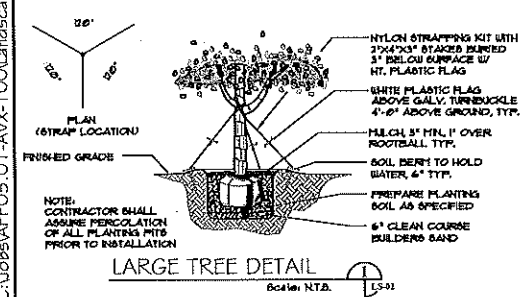
SOD & MISCELLANEOUS ITEMS
MULCH: Min Fine Dark Nuggets
SOD: Paspalum notatum-Baha Sod



LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS', PARTS 1 AND 2, BY DIVISION OF PLANT INDUSTRY, FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR OWNER'S REPRESENTATIVE, NOT THE LANDSCAPE ARCHITECT, FOR THE NURSERY SELECTION OF PLANT MATERIAL AND TO ENSURE THE HEALTH AND SAFETY OF ALL PLANTS SELECTED.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ALL DISCREPANCIES AND IMPROPER CONDITIONS (WEEDS, MUCK, DEBRIS, ETC) TO LANDSCAPE ARCHITECT PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND IS RESPONSIBLE FOR ALL SOIL AMENDMENTS TO CONFORM TO SPECIFICATIONS.
- ALL TREES ON SITE SHOULD BE INSPECTED ANNUALLY AND AFTER ALL STORM EVENTS TO ENSURE THE HEALTH AND SAFETY OF ALL TREES.
- THE LANDSCAPE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL CIVIL DRAWING AS THEY RELATE TO PAVING SITE GRADING, AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY) TO PRECLUDE ANY MISUNDERSTANDING AND ENSURE TROUBLE FREE INSTALLATION. THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, EXISTING UNDERGROUND SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER (1" OVER ROOTBALL) OF MIMBIE FINE BARK, HUGGET MULCH.
- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES ON THE PLANT LIST AND THE PLANS, THE PLAN SHALL TAKE PRECEDENT.

- NOTES:
- STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.
 - LANDSCAPING AND IRRIGATION SHALL BE CONSISTENT WITH SECTION 5.01 OF THE LAND DEVELOPMENT CODE.
 - LANDSCAPING AND IRRIGATION SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 2069.
 - IRRIGATION PLANS SHALL BE PROVIDED AT FINAL DEVELOPMENT PLAN SUBMITTAL.
 - IRRIGATION DISTRIBUTION EQUIPMENT SHALL BE 24" FROM VERTICAL STRUCTURES.

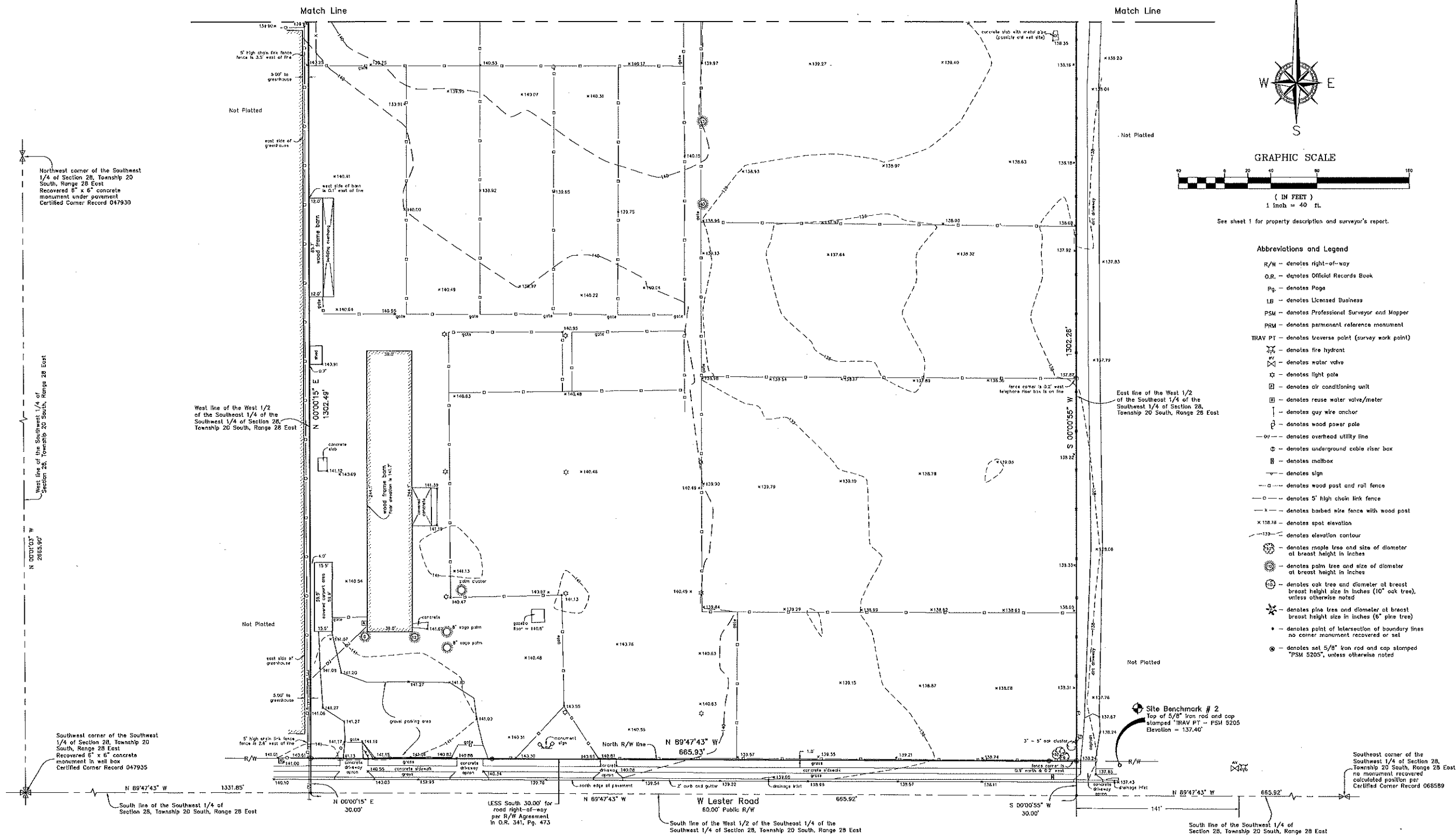


NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: LA0001764
REG. NO. 10/30/17
DATE

**Boundary and Topographic Survey of
359 W Lester Road, Apopka, Orange County,
Florida
Section 28, Township 20 South, Range 28 East**



Northwest corner of the Southeast 1/4 of Section 28, Township 20 South, Range 28 East
Recovered 6" x 6" concrete monument under pavement
Certified Corner Record 047930

West line of the Southeast 1/4 of Section 28, Township 20 South, Range 28 East
N 00°00'03" W
2685.90'

Southwest corner of the Southeast 1/4 of Section 28, Township 20 South, Range 28 East
Recovered 6" x 6" concrete monument in wall box
Certified Corner Record 047935

South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East
N 89°47'43" W
1331.85'

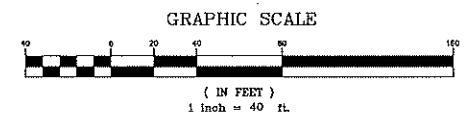
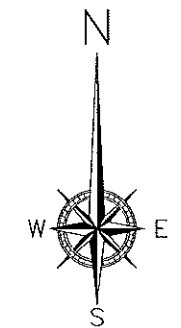
LESS South 30.00' for road right-of-way per R/W Agreement in O.R. 341, Pg. 473

W Lester Road
60.00' Public R/W
N 89°47'43" W
665.93'

South line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

Site Benchmark # 2
Top of 5/8" iron rod and cap stamped "TRAV PT - PSM 5205
Elevation = 137.40'

Southeast corner of the Southeast 1/4 of Section 28, Township 20 South, Range 28 East
no monument recovered
calculated position per Certified Corner Record 068589



See sheet 1 for property description and surveyor's report.

Abbreviations and Legend

- R/W - denotes right-of-way
- O.R. - denotes Official Records Book
- Pg. - denotes Page
- LB - denotes Licensed Business
- PSM - denotes Professional Surveyor and Mapper
- PRM - denotes permanent reference monument
- TRAV PT - denotes traverse point (survey work point)
- ⊙ - denotes fire hydrant
- ⊕ - denotes water valve
- ⊛ - denotes light pole
- ⊠ - denotes air conditioning unit
- ⊡ - denotes reuse water valve/meter
- ⊥ - denotes guy wire anchor
- ⊞ - denotes wood power pole
- - denotes overhead utility line
- ⊖ - denotes underground cable riser box
- ⊞ - denotes mailbox
- - denotes sign
- - denotes wood post and rail fence
- - denotes 5' high chain link fence
- x— - denotes barbed wire fence with wood post
- x138.78 - denotes spot elevation
- 138 - denotes elevation contour
- ⊙ - denotes maple tree and size of diameter at breast height in inches
- ⊙ - denotes palm tree and size of diameter at breast height in inches
- ⊙ - denotes oak tree and diameter at breast height size in inches (10" oak tree, unless otherwise noted)
- ⊙ - denotes pine tree and diameter at breast height size in inches (6" pine tree)
- - denotes point of intersection of boundary lines no corner monument recovered or set
- ⊙ - denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

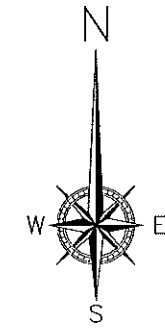
Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874
Post Office Box 771065, Winter Garden, Florida 34777-1065
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 854-6183
www.benchmarksurveyingandmapping.com

**Boundary and Topographic Survey of
359 W Lester Road, Apopka, Florida
Section 28, Township 20 South, Range 28 East**

Date	Revised	By
Oct. 11, 2017	add of date trees and smaller trees onsite	

July 17, 2017	1023.01	Project Number
	111/31	Field Date
	1" = 40'	Scale
		Field Book/Page

Boundary and Topographic Survey of
359 W Lester Road, Apopka, Orange County, Florida
Section 28, Township 20 South, Range 28 East



GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

Property Description

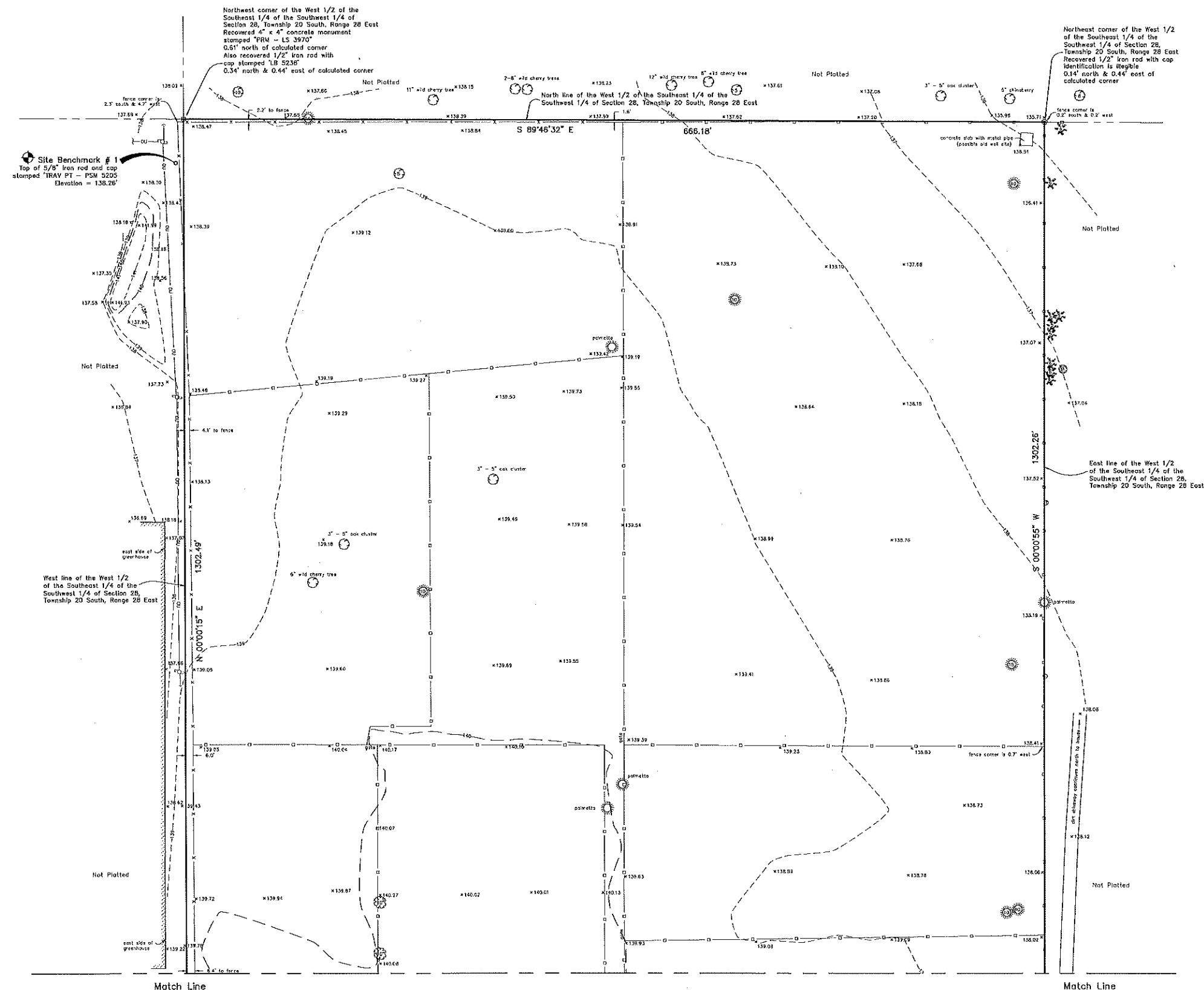
The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS all that portion lying within the road right-of-way.

Surveyor's Report

- Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as North 89°47'43" West.
- The elevations shown hereon are based on Orange County Vertical Control Network. Specifically, point identification number 5-137-9002, being a 3" aluminum survey disk set in concrete curb inlet at the west side of Vick Road, 355'+-- south of Lester Road. Published elevation is 129.41 feet, relative to the North American Vertical Datum (NAVD) of 1988.
- This Survey was performed with the benefit of a title commitment prepared by Old Republic National Title Insurance Company, commitment number 472525 dated June 27, 2017. This firm relied on said commitment and did not search the public records for easements or restrictions of record.
- Subject property contains 19.91 acres, more or less and is currently an equestrian center with horse stables and training facilities. The training facilities and courses are not shown hereon.
- Subject property lies within Zone X, area determined to be outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map number 12095C0110F, dated September 29, 2009.
- This Survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.
- Only the aboveground evidence of underground utilities are shown, underground improvements were not located.
- The spot elevations along the edge of pavement/curb are edge of pavement elevations and may not be drawn to scale.
- The feature symbols depicted on this survey and in the legend are shown for graphic purposes and may not be drawn to scale.
- Trees that are 8" in diameter at breast height and larger are shown hereon. There are smaller trees, bushes and hedges that are not shown hereon. Only the trees within the subject property are shown, there may be trees within 5' of the boundary lines that are not shown. The location of the trees shown hereon are approximate and not intended for design purposes. If trees are to remain due to proposed design, we recommend a more accurate location of the trees trunk and roots.
- Subject property has direct access from a public right of way named W Lester Road. The property abuts said public right of way with no overtop gaps or gates.
- This survey meets the Standards of Practice set forth in Florida Administrative Code Rule SJ-17, pursuant to Florida Statute Chapter 472.
- This Survey is not valid without the signature and seal of a Florida licensed surveyor and mapper.

Abbreviations and Legend

- R/W - denotes right-of-way
- O.R. - denotes Official Records Book
- Pg. - denotes Page
- LB - denotes Licensed Business
- PSM - denotes Professional Surveyor and Mapper
- PRM - denotes permanent reference monument
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- ⊓ - denotes wood power pole
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- ⊞ - denotes underground cable riser box
- ⊞ - denotes mailbox
- - - - - denotes sign
- - denotes wood post and rail fence
- - denotes 5' high chain link fence
- x— - denotes barbed wire fence with wood post
- × - denotes spot elevation
- - - - - denotes elevation contour
- ⊗ - denotes maple tree and size of diameter at breast height in inches
- ⊕ - denotes palm tree and size of diameter at breast height in inches
- ⊙ - denotes oak tree and diameter at breast height, size in inches (10" oak tree), unless otherwise noted
- ⊖ - denotes pine tree and diameter of breast height size in inches (8" pine tree)
- - denotes point of intersection of boundary lines no corner monument recovered or set
- ⊙ - denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

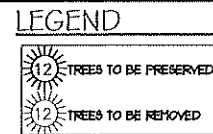
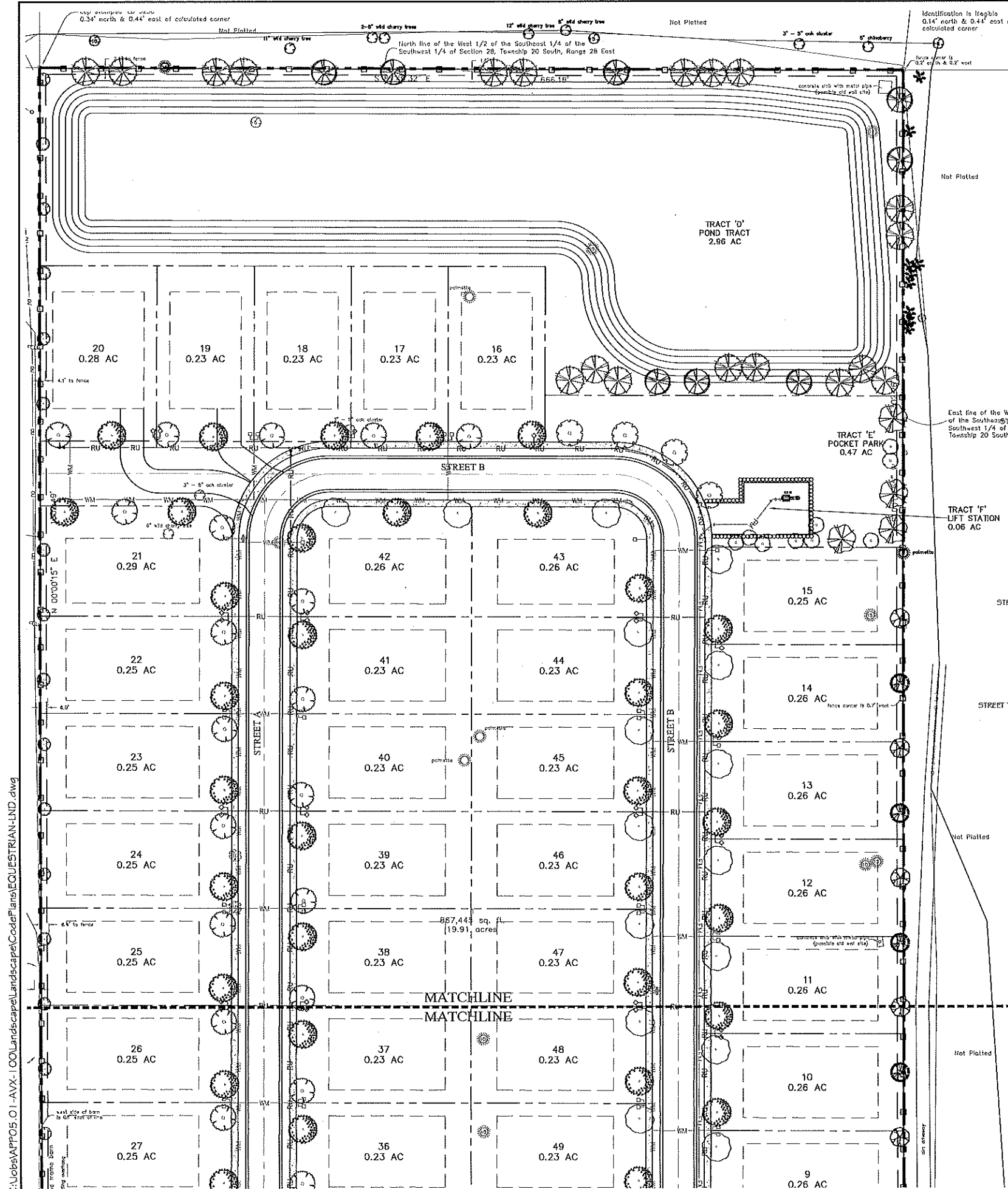


Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874
Post Office Box 71065, Winter Garden, Florida 34777-1065
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 954-6183
www.benchmarksurveyingandmapping.com

Prepared For: Avox Homes
Prepared By:
Billy Joe Jenkins, Jr.
Professional Surveyor and Mapper
Florida License # 5205

Boundary and Topographic Survey of
359 W Lester Road, Apopka, Florida
Section 28, Township 20 South, Range 28 East

Oct. 11, 2017	Field Date
104301	Project Number
1" = 40'	Scale
111/31	Field Book/Page



TREE REMOVAL CHART

COUNT	SIZE	SPECIES
3	3"-5"	OAK
1	4"	OAK
1	5"	OAK
1	6"	OAK
3	10"	OAK
1	14"	OAK
1	6"	PALM
7	10"	PALM
1	12"	PALM
1	15"	PALM
1	6"	CHERRY
2	8"	SAGO PALM

TOTAL INCHES: 208"

TREE PRESERVATION CHART

COUNT	SIZE	SPECIES
1	14"	PALM

TOTAL INCHES: 14"

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	8	Acer rubrum 'October Glory'™	'October Glory' Maple	65 gal	2.5" DBH	15' HT.	
	4	Liquidambar styraciflua	Sweet Gum	65 gal	3" DBH	15' HT.	
	29	Platanus occidentalis	Sycamore	65 gal	3" DBH	15' HT.	
	19	Taxodium distichum	Bald Cypress	65 gal	3" DBH	15' HT.	
	9	Ulmus americana 'Floridana'	Florida Elm	65 gal	3" Cal	12' HT.	
	9	Ulmus parvifolia	Chinese Elm	65 gal	3" DBH	10'-12' HT.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	9	Juniperus sibiricola	Southern Red Cedar	65 gal	3" Cal	12' HT.	
	12	Ligustrum japonicum	Japanese Privet	65 gal	2.5" Cal	8'-10' H	
	56	Quercus virginiana	Southern Live Oak	65 gal	3" DBH	12' HT.	
	10	Quercus virginiana 'Cathedral'	Cathedral Live Oak	65 gal	3" Cal	12' HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	13	Lagerstroemia indica 'Dwarf Red'	Dwarf Red Crape myrtle	30 gal	2.5" Cal	8'-10' H	
	27	Magnolia grandiflora	Southern Magnolia	65 gal	3" DBH	12' HT.	
	4	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Southern Magnolia	65 gal	3" Cal	12' HT.	
	11	Magnolia grandiflora 'Majestic Beauty'™	Southern Magnolia	65 gal	3" DBH	10'-12' HT.	
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	4	Phoenix sylvestris	Wild Date Palm	FG		12' C.T.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
	211	Peperomia sp.	Pineapple Guava	3 gal			30" ht. x 24"-30" spd., 36" O.C.
	76	Viburnum obovatum	Walter's Viburnum	3 gal			24" ht. x 24"-30" spd., 30" O.C.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	REMARKS
	75	Dianella revoluta 'Vanegated'	Vanegated Flax Lily	1 gal			12"-15" ht., 5-6 spp., 24" O.C.
SOD & MISCELLANEOUS ITEMS							
			Mini Pine Bark Nuggets				
			Paspalum notatum-Bahia Sod				

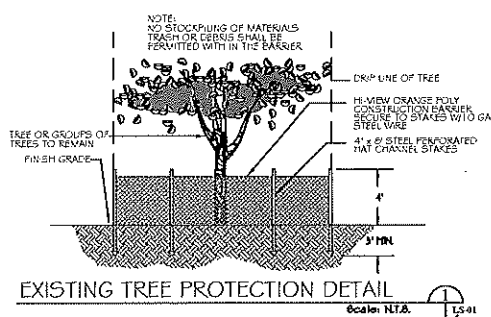
TREE MITIGATION

LOT TREES REQUIRED: 52
 TOTAL NUMBER OF LOTS: 52
 TREE INCHES REQUIRED PER LOT: 9" DBH
 TOTAL TREE INCHES REQUIRED: 468" DBH

INDIVIDUAL LOT TREES SHALL CONSIST OF TWO CANOPY TREES AND ONE UNDERSTORY TREE. INDIVIDUAL LOT TREES SHALL BE INSTALLED WHEN THE LOT IS DEVELOPED.

REPLACEMENT/REMOVAL TABLE:

Total inches on current, non-altered site: 222" dbh
 Total number of specimen trees: 0
 Total inches removed: 208" dbh
 Total inches retained: 14" dbh
 Total Specimen inches retained: 0" dbh
 Total inches required: 208" dbh
 Total inches replaced: 208" dbh
 Total inches post development: 657.5" dbh
 Maximum tree stock formula and calculations: 3,036' dbh x 1,337' dbh Specimen Trees
 Site clearing area in square feet and acres: 867,487 SF/ 19.9 AC



NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

Signature: *Carl Kelly* LA0001764 10/30/17
 REG. NO. DATE



Landscape Designs, LLC

- Landscape Architecture
- Site Planning

4465 Gabriella Lane
 Winter Park, FL 32792
 PH: (407) 484-3414
 FX: (407) 671-1604

PROJECT AND OWNER

AVEX HOMES EQUESTRIAN CENTER
 City of Apopka Florida

Applan Engineering, LLC
 2221 Lee Road, Suite 17
 Winter Park, FL 32789
 PH: (407) 960-5856

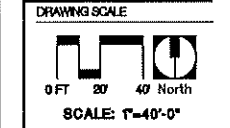
CONSULTANTS

LANDSCAPE ARCHITECT
 CARL J. KELLY JR., RLA

REG. #: 0001764

PROJECT NO. AP05.01
 DESIGNED BY: CJK
 DRAWN BY: CJK
 CHECKED BY: CJK
 DATE: 10/30/17

ISSUED FOR:
 01/18/18 Site Changes
 02/14/18 City Comments



DRAWING TITLE

LANDSCAPE SITE PLAN & TREE MITIGATION

DRAWING NUMBER

LS-01

SHEET 19 OF 20

C:\Notes\AP05.01-1\X-1\00\Landscapes\Equestrian\LND.dwg



Landscape Designs, LLC

Landscape Architecture
Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
FX: (407) 671-1604

PROJECT AND OWNER

AVEX HOMES EQUESTRIAN CENTER

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 980-8888

CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP05.01
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 10/30/17

ISSUED FOR:
01/18/18 Site Changes
02/14/18 City Comments

DRAWING SCALE



SCALE: 1"=40'-0"

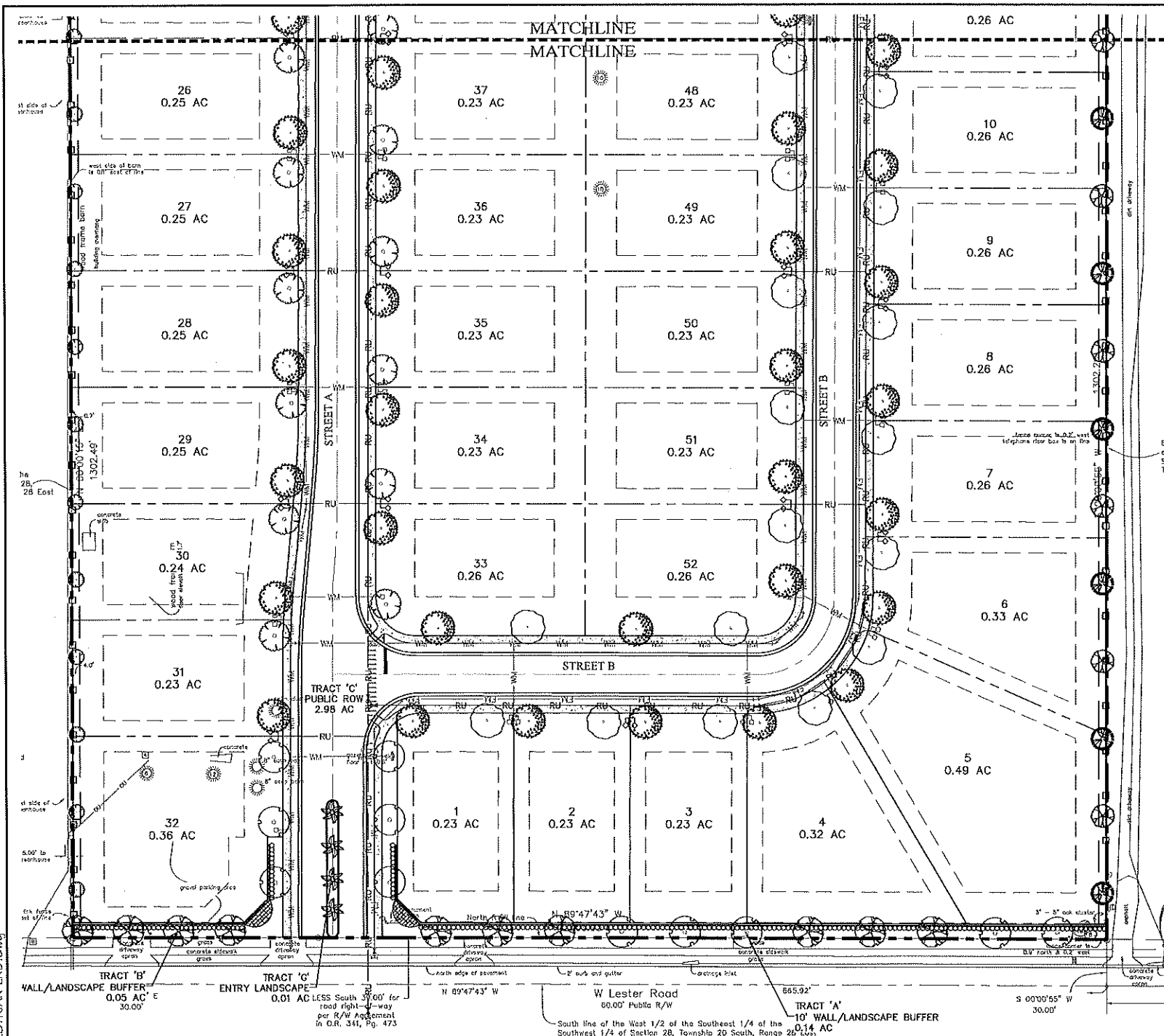
DRAWING TITLE

LANDSCAPE SITE PLAN & TREE MITIGATION

DRAWING NUMBER

LS-02

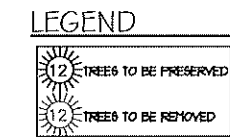
SHEET 20 OF 20



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
STREET TREE	5	Acer rubrum 'October Glory' TM	'October Glory' Maple	65 gal	2.5" DBH	15' HT.	
	4	Liquidambar styraciflua	Sweet Gum	65 gal	3" DBH	15' HT.	
	29	Platanus occidentalis	Sycamore	65 gal	3" DBH	15' HT.	
	19	Taxodium distichum	Bald Cypress	65 gal	3" DBH	15' HT.	
	9	Ulmus americana 'Flordana'	Florida Elm	65 gal	3" Cal	12' HT.	
	9	Ulmus parvifolia	Chinese Elm	65 gal	3" DBH	10'-12' HT.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
STREET TREE	9	Juniperus silicicola	Southern Red Cedar	65 gal	3" Cal	12' HT.	
	12	Liquidambar japonicum	Japanese Privet	65 gal	2.5" Cal	8'-10' H	
	56	Quercus virginiana	Southern Live Oak	65 gal	3" DBH	12' HT.	
	10	Quercus virginiana 'Cathedral'	Cathedral Live Oak	65 gal	3" Cal	12' HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
STREET TREE	13	Lagerstroemia indica 'Dwarf Red'	Dwarf Red Crape myrtle	30 gal	2.5" Cal	8'-10' H	
	27	Magnolia grandiflora	Southern Magnolia	65 gal	3" DBH	12' HT.	
	4	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Southern Magnolia	65 gal	3" Cal	12' HT.	
	11	Magnolia grandiflora 'Majestic Beauty' TM	Southern Magnolia	65 gal	3" DBH	10'-12' HT.	
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	4	Phoenix sylvestris	Wild Date Palm	FG		12' C.T.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
	211	Ficus sellowiana	Pineapple Guava	3 gal			30" ht. x 24"-30" spd., 36" O.C.
	76	Viburnum obovatum	Walter's Viburnum	3 gal			24" ht. x 24"-30" spd., 30" O.C.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	REMARKS
	76	Dianella revoluta 'Vanegated'	Vanegated Flax Lily	1 gal			12"-15" ht., 5-6 spp., 24" O.C.

SOD & MISCELLANEOUS ITEMS
MULCH Mini Fine Bark Nuggets
SOD Paspalum notatum-Bahia Sod

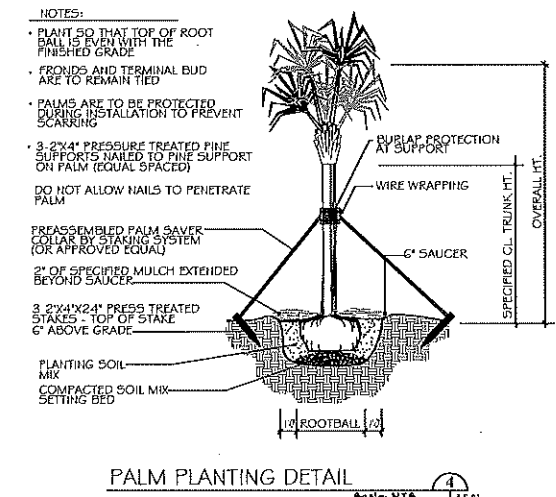
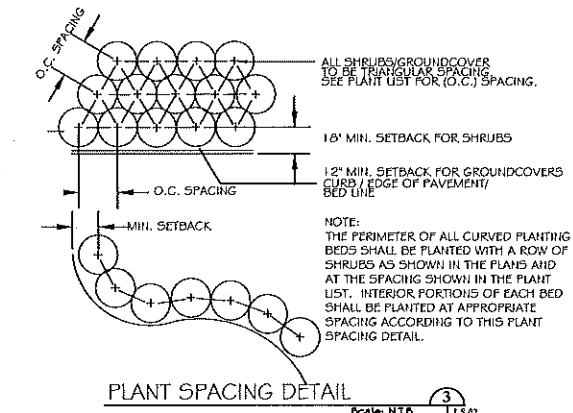
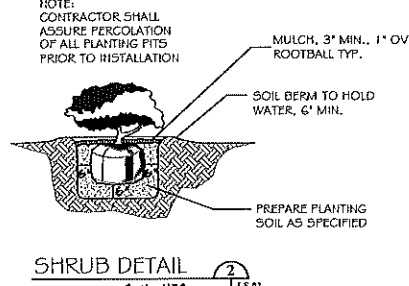
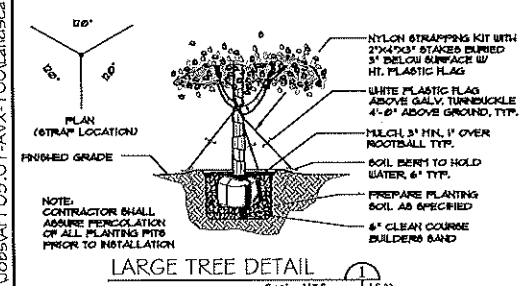


LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS', PARTS 1 AND 2, BY DIVISION OF PLANT INDUSTRY, FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR OWNER'S REPRESENTATIVE, NOT THE LANDSCAPE ARCHITECT, FOR THE NURSERY SELECTION OF PLANT MATERIAL AND TO ENSURE THE HEALTH AND SAFETY OF ALL PLANTS SELECTED.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ALL DISCREPANCIES AND IMPROPER CONDITIONS (WEEDS, MUCK, DEBRIS, ETC) TO LANDSCAPE ARCHITECT PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND IS RESPONSIBLE FOR ALL SOIL AMENDMENTS TO CONFORM TO SPECIFICATIONS.
- ALL TREES ON SITE SHOULD BE INSPECTED ANNUALLY AND AFTER ALL STORM EVENTS TO ENSURE THE HEALTH AND SAFETY OF ALL TREES.
- THE LANDSCAPE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL CIVIL DRAWING AS THEY RELATE TO PAVING SITE GRADING, AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY) TO PRECLUDE ANY MISUNDERSTANDING AND ENSURE TROUBLE FREE INSTALLATION. THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, EXISTING UNDERGROUND SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER (1" OVER ROOTBALL) OF MINNE PAPE BARK NUGGET MULCH.
- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES ON THE PLANT LIST AND THE PLANS, THE PLANT LIST TAKE PRECEDENT.

NOTES:

- STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.
- LANDSCAPING AND IRRIGATION SHALL BE CONSISTENT WITH SECTION 5.01 OF THE LAND DEVELOPMENT CODE.
- LANDSCAPING AND IRRIGATION SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 2069.
- IRRIGATION PLANS SHALL BE PROVIDED AT FINAL DEVELOPMENT PLAN SUBMITTAL.
- IRRIGATION DISTRIBUTION EQUIPMENT SHALL BE 24" FROM VERTICAL STRUCTURES.



NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: [Signature] REG. NO. LA0001764 DATE: 10/30/17

C:\Users\APF05.01\AVX-100\Landscapes\Equestrian\LS-02.dwg

A photograph of a backyard patio. In the foreground, a black metal chair with a curved backrest holds a large, light-colored cushion with a textured, fringed edge. A brown leather jacket is draped over the chair's arm. To the left, a black metal table holds a silver laptop and some papers. In the background, a tall, dark brown vinyl fence with vertical slats and a decorative top rail runs across the frame. To the left of the fence is a stone pillar. The background is filled with dense green foliage.

WOODLAND SELECT™

PREMIUM FENCE TO LAST A LIFETIME

THE PLY GEM PROMISE: Ply Gem is a 70-year leader in pioneering performance home exteriors, with a superior warranty for exactly the home you want for decades to come.

EQUESTRIAN CENTER SUBDIVISION

Project № 17093
October 2017

**TRAFFIC IMPACT ANALYSIS
CITY OF AOPKA
FLORIDA**

Prepared by:



Traffic & Mobility Consultants

3101 Maguire Boulevard, Suite 265
Orlando, Florida 32835
www.trafficmobility.com
(407) 531-5332

Prepared for:

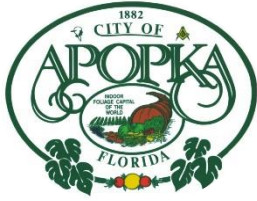
Appian Engineering
2221 Lee Road, Suite 17
Winter Park, Florida 32789

EXECUTIVE SUMMARY

This traffic analysis was performed to assess the impact of the proposed Equestrian Center Subdivision. The site is located on Lester Road, east of Vick Road and west of Rock Springs Road, in the City of Apopka, Florida. The property will include a total of 52 single family units.

The analysis evaluated project impacts to roadway segments and intersections within the primary site's influence area and a preliminary access review. The results of the analysis as documented herein are summarized below:

- The proposed development will generate a new daily traffic volume of 576 vehicle trips, of which 46 trips will occur in the AM peak hour and 58 trips will occur in the PM peak hour.
- Analysis of roadway segment capacity reveals that all study segments currently operate within their adopted capacity except for the northbound approach at Vick Road.
- Analysis of the study intersections indicates that they currently operate at adequate LOS and are projected to continue to do so at project buildout, except northbound on Vick Road. It should be noted that the project's impact on the backlogged roadway segment is less than 2% of the roadway's current capacity.
- A review of the project driveway at Lester Road and the required turn lane treatments reveals that turn deceleration lanes on Lester Road are not warranted or necessary to serve the projected traffic.
- ***The proposed development does not adversely impact traffic operations in the vicinity of the site.***



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	June 26, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Aerial Map
		Final Development Plan
		Architectural Renderings
		Traffic Impact Analysis

SUBJECT: FINAL DEVELOPMENT PLAN – DOLLAR GENERAL STORE

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR THE DOLLAR GENERAL STORE

SUMMARY:

OWNER/APPLICANT: Lloyd Lee, Mobley Mattie Life Estate and Nathan Jerome Shaw, Sr.

ENGINEER: Z Development Services, LLC c/o Bob Ziegenfuss, P.E./Hanlex Group, LLC
c/o Jeremy Anderson, P.E.

LOCATION: 51 and 57 East Michael Gladded Boulevard and West 9th Street

PARCEL ID #s: 09-21-28-0196-80-520; 09-21-28-0196-80-512; 09-21-28-0196-80-514

FUTURE LAND USE: Commercial

ZONING: C-1 (Retail Commercial)

EXISTING USE: Vacant

PROPOSED USE: General Business Establishment

BUILDING SIZE: 7,600 square feet

FLOOR AREA RATIO 0.179 (0.25 Maximum)

TRACT SIZE: 0.97 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1	Automobile Service Station
East (City)	Commercial	Public Right-of-Way (ROW) and I-1	Park Avenue/ Multi-Tenant Shopping Center
South (City)	Commercial	Public Right-of-Way (ROW) and C-1	Michael Gladden Boulevard/Multi-family/Single Family Residential
West (City)	Commercial	C-1	Single Family Residential

ADDITIONAL COMMENTS: This is a request to approve the Dollar General Store Final Development Plan that includes a building size of 7,600 square feet and height of 21 feet. A preliminary development plan is not required for development proposing less than 10,000 sq. ft. of building floor area.

PARKING: Per Land Development Code parking requirements, a total of 25 parking spaces will be provided, two of which are reserved as a handicapped parking spaces.

ACCESS/TRANSPORTATION: Access to the site is via two full access points on Park Avenue and Michael Gladden Boulevard. The main entrance is on Michael Gladden Boulevard.

A. Road Jurisdiction.

1. Park Avenue – Orange County. Any new access driveway to Park Avenue requires authorization from Orange County government.
2. Michael Gladden Boulevard. --- City of Apopka.

B. Traffic Study Findings. A Traffic Impact Analysis (TIA) was submitted for this project that assessed its impacts on the transportation facilities adjacent to the site. The project is anticipated to generate 34 PM Peak Hour net new trips. The roadway segments of Park Avenue from US 441 to Michael Gladden Boulevard and Michael Gladden Boulevard from Bradshaw Road to Park Avenue were analyzed for both existing and projected conditions. The roadway segment analysis demonstrates sufficient capacity exists on both roadways to accommodate the addition of trips generated by this project.

The intersection of Park Avenue and Michael Gladden Boulevard was analyzed for existing and future conditions for the PM Peak Hour. Under existing conditions, the eastbound left turn movement from Michael Gladden Boulevard to Park Avenue is experiencing significant delays. The westbound, northbound and southbound movements are operating at an acceptable level of service. For the future conditions analysis which includes existing, committed and project traffic, the eastbound left turn movement delay is slightly increased. This increase is primarily due to overall background traffic growth in and around the area. The westbound, northbound and southbound movements continue to operate at acceptable levels of service.

C. Road/Intersection Improvements. None proposed or warranted, unless Orange County finds a need for road or intersection improvement as part of its review of the right of way permit on to Park Avenue.

EXTERIOR ELEVATIONS: The height of the proposed building is 21 feet, well below the maximum allowable height of 35'. Staff has found the proposed building elevations meet the intent of the City's Development Design Standards\Guidelines.

STORMWATER: The stormwater management system includes an on-site retention area, on the western portion of the project site. The stormwater pond design meets the City's Land Development Code requirements.

DEVELOPMENT CONDITONS: Prior to issuance of a building permit, the property owner shall consolidate the three parcels comprising the final development plan into a single parcel.

BUFFER/SCREENING/LANDSCAPING/TREE PROGRAM: As part of the development plan approval, bald cypress, sweet gum trees, and viburnum hedges line the buffer wall placed within the 10-foot wide landscape buffer at western perimeter of the project site, adjacent to the retention pond. The 10-foot wide landscape buffers on the southern and eastern boundaries, abutting Michael Gladden Boulevard and Park Avenue, consist of live oaks, sweet gum, yaupon holly and southern magnolias.

Arbor Assessment

Total inches on-site:	396
Total inches removed	396
Total inches retained:	0
Total inches added:	97
Total inches post development:	97

PUBLIC HEARING SCHEDULE:

June 26, 2018 - Planning Commission, 5:30 pm

July 18, 2018 - City Council, 7:00 pm

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Dollar General Final Development Plan, subject to the findings of this staff report.

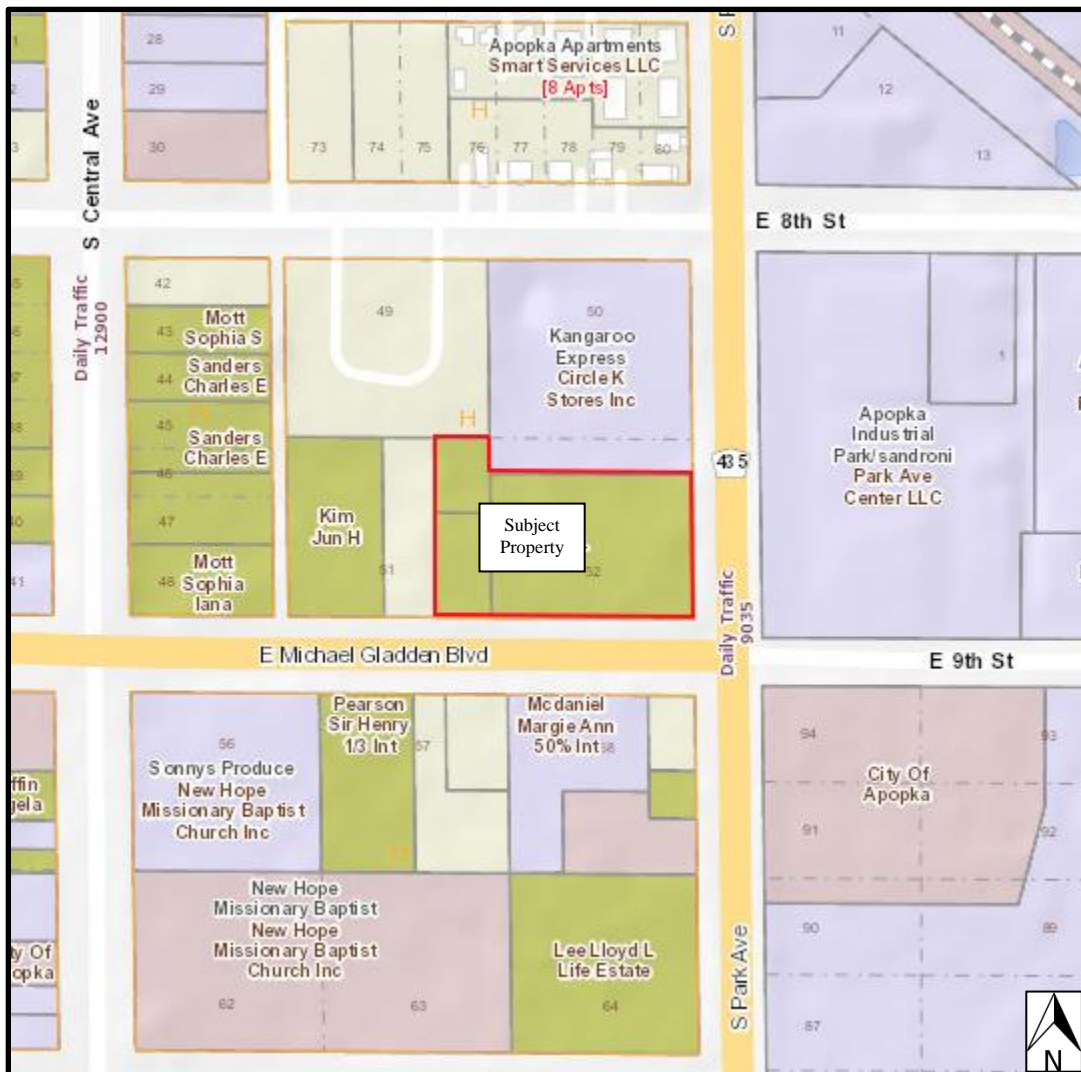
Planning Commission Recommendation: Find the Dollar General Final Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Final Development Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Dollar General Final Development Plan
Owner/Applicant: Lloyd Lee, Mobley Mattie Life Estate, Nathan Jerome Shaw, Sr.
Engineers: Z Development Services, LLC, c/o Bob Ziegenfuss, P.E. and Hanlex Group, LLC, c/o Jeremy Anderson, P.E.
Location: 51 and 57 East Michael Gladden Boulevard and West 9th Street
Parcel I.D. #s: 09-21-28-0196-80-520; 09-21-28-0196-80-512; 09-21-28-0196-80-514
Total Site Area: 0.97 acres +/-

VICINITY MAP

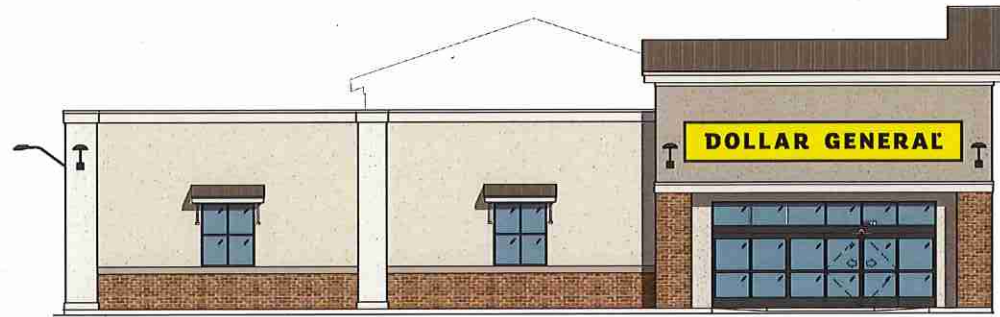


ZONING MAP



AERIAL MAP

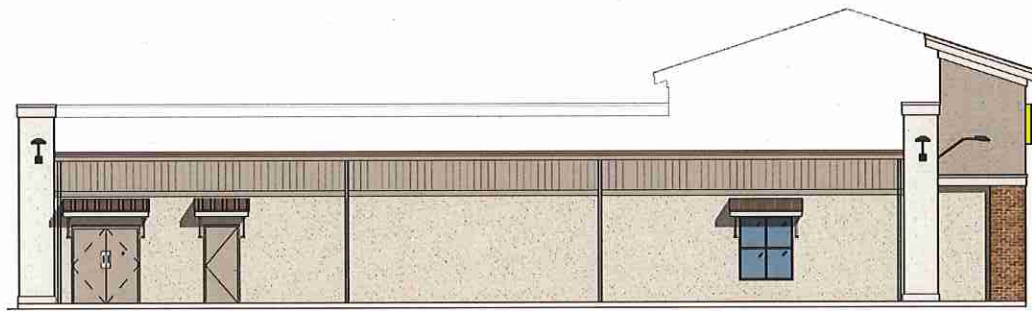




1 WEST ELEVATION
A02 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A02 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A02 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A02 SCALE: 1/8" = 1'-0"

REVISIONS
1
2
3
4
5
6
7
8

PROJECT NO. MCS1705-01	DATE 02-26-18
---------------------------	------------------

ELEVATIONS

PROPOSED NEW LOCATION
FOR
DOLLAR GENERAL
APOPKA, FLORIDA

AA26002490
RABITS & ROMANO
ARCHITECTURE
PLANNING AND DESIGN
348 SOUTH HICKEL AND ST.
SUITE 9 MOUNT DORA, FL. 32757
TEL - 352-385-1870
FAX - 352-385-1025
info@rabits-romano.com
www.rabits-romano.com

SIGN/SEAL

DATE

SHEET
A02
OF
31

FINAL DEVELOPMENT PLAN / MAJOR SITE PLAN

DOLLAR GENERAL E. MICHAEL GLADDEN BLVD & SOUTH PARK AVENUE APOPKA, FLORIDA 32703

PARCEL I.D. #s: PARCEL 1 - 09-21-28-0196-80-520, PARCEL 2- 09-21-28-0196-80-512, PARCEL 3- 09-21-28-0196-80-514
ZONING DISTRICT: C-1- RETAIL COMMERCIAL DISTRICT
SECTION 16, TOWNSHIP 21 SOUTH, RANGE 28 EAST

DEVELOPER & CONSULTANTS

OWNER/DEVELOPER
HANLEX DEVELOPMENT, LLC
1000 COLOR PLACE
APOPKA, FLORIDA 32703
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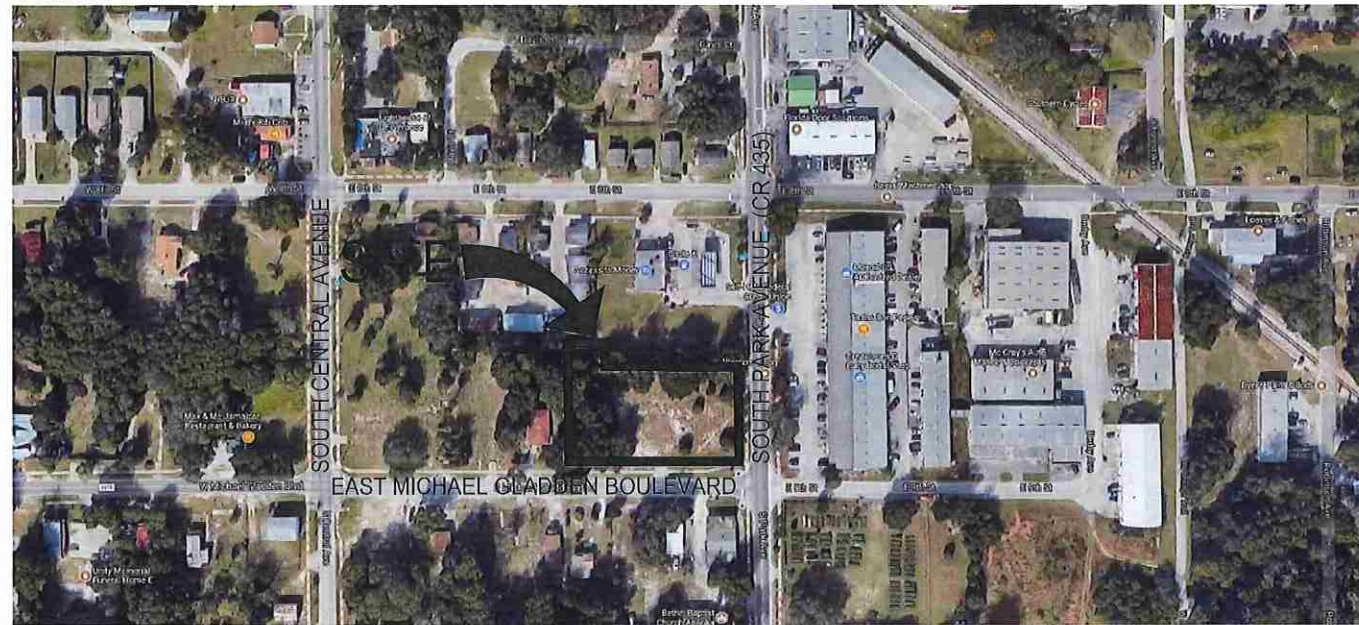
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PROJECT REVISIONS

REV. NO.	DATE	DESCRIPTION	SHEETS	BY
1	12-04-17	CITY COMMENTS	CV, C0, C2.0, C2.1, C3, C4, C5, C5.1, C6.1, C7, L1 & L2	SR
2	02-19-18	CITY COMMENTS	C0, C2.0, C4, C5	SR

LEGAL DESCRIPTION

PARCEL 1
(PER FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NO. 6223990):
THE EAST 58 FEET OF LOT 51, LESS THE SOUTH 103 FEET, BLOCK H, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "A", PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2
(PER FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NO. 6178915):
THE EAST 58 FEET OF THE SOUTH 109 FEET OF LOT 51, BLOCK H, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "A", PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3
(PER FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT FILE NO. 12655-2404744):
LOT 52, LESS THE NORTH 37 FEET, BLOCK H, THE TOWN OF APOPKA, A SUBDIVISION ACCORDING TO THE PLAT OF MAP THEREOF DESCRIBED IN PLAT BOOK "A", AT PAGE(S) 109, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
PARCELS 1, 2 AND 3 TOGETHER CONTAINING 42,364 SQUARE FEET, OR 0.97 ACRES, MORE OR LESS.



CA 29354

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REVISION	DATE	REVISION	DATE
△ CITY COMMENTS	12-04-17		

ROBERT ZIEGENFUSS, P.E., LEED AP
FL REG. # 56752

**DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703**

DATE: 07-24-17
DRAWN: SR
CHECKED: RZ

CV
COVER SHEET

PROJECT NO: 2017.145

DEMOLITION NOTES

- 1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE ACTIVITIES WITH ALL UTILITY SERVICE PROVIDERS IN THE AREA. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION ACTIVITIES.
- 2. THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND OTHER IMPROVEMENTS AS NOTED ON THE PLANS. THIS INCLUDES FOUNDATIONS, TIMBER, BRUSH, STUMPS, ROOTS, PAVEMENT AND BASE MATERIAL, AND OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
- 3. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
- 4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 5. THE LOCATION OF ALL EXISTING UTILITIES AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED BASED UPON THE BEST AVAILABLE INFORMATION. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR ACCURACY. ALL UTILITIES, SURFACE IMPROVEMENTS AND TREE LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
- 7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR).
- 8. ALL EROSION CONTROL MEASURES NOTED BELOW AND IN THE PLANS SHOULD BE IN PLACE PRIOR TO THE START OF DEMOLITION.

EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- 1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
 - 2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
 - 3. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
 - 4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
 - 5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
 - 6. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
 - 7. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE THE LIMITS OF CONSTRUCTION.
 - 8. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO THE SITE.
 - 9. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
 - 10. FOR ADDITIONAL INFORMATION AND DETAILS, SEE STATE OF FLORIDA'S EROSION AND SEDIMENT CONTROL MANUAL.
 - 11. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
 - 12. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
 - 13. ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE GOVERNING JURISDICTION OR BY OTHER REGULATORY AGENCIES.
 - 14. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES/WATTLES, UNTIL THE LIMESTONE BASE IS FINISHED AND PRINED.
 - 15. THE BOTTOM AND SIDE SLOPES OF RETENTION PONDS SHALL BE UNDEN EXCAVATED BY ROUGHLY 12 INCHES AT THE BEGINNING OF CONSTRUCTION. ONCE THE ENTIRE SITE IS STABILIZED, THE RETENTION POND SHALL BE EXCAVATED TO THE DESIGN DEPTH AND STABILIZED WITH SEED OR SOIL AS SPECIFIED IN THE LANDSCAPING PLANS. NO MUCK GROWN SOIL SHALL BE USED.

GENERAL NOTES

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND THESE PLANS PRIOR TO THE START OF CONSTRUCTION. ANY CONFLICTS BETWEEN CONDITIONS IN THE FIELD AND THESE PLANS SHALL BE REPORTED TO THE ENGINEER OF RECORD AT ONCE.
- GENERAL
 - SITE LOCATION: EAST MICHAEL GLADDEN BOULEVARD AND SOUTH PARK AVENUE, APOPKA, FLORIDA 32703.
 - THIS SITE LIES IN FLOOD ZONE "X", F.I.R.M. PANEL 12085C0120 F, DATED SEPT. 25, 2009.
 - BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY L&S DIVERSIFIED, 405 LAKE HOWELL ROAD, SUITE 1001, MAITLAND, FLORIDA.
 - BENCHMARK -- REFER TO TOPOGRAPHIC SURVEY BY L&S DIVERSIFIED.
 - LEGAL DESCRIPTION SHOWN HEREIN IS FURNISHED BY SURVEYOR, AND IS INCLUDED FOR PERMITTING AND APPROVAL PURPOSES, AND AS A COURTESY FOR THE CONTRACTOR. THE ENGINEER ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS.
 - SITE GEOTECHNICAL INVESTIGATION PERFORMED BY PROFESSIONAL SERVICE INDUSTRIES, INC. THE CIVIL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, ACCURACY AND COMPLETENESS OF THEIR WORK. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEER'S REPORT FOR THIS SITE AND COMPLY WITH RECOMMENDATIONS CONTAINED THEREIN. IF ADDITIONAL SERVICES ARE REQUIRED, THE CONTRACTOR SHALL MAKE A REQUEST TO THE OWNER.
 - CONTRACTOR SHALL PROVIDE AND INSTALL EROSION CONTROL DEVICES (SILT FENCE OR OTHER METHODS) AT LIMITS OF CONSTRUCTION AND AROUND EACH STORM INLET PRIOR TO CONSTRUCTION AND SHALL MAINTAIN SAID EROSION CONTROL DEVICES DURING CONSTRUCTION. ALL IN CONFORMANCE WITH CURRENT LOCAL, COUNTY AND STATE CRITERIA.
 - THE SITE SHALL BE CLEARED AS MAY BE NOTED ON THE PLANS, OF ALL OBSTRUCTIONS AND DELETTERIOUS MATERIAL SUCH AS FENCES, WALLS, FOUNDATIONS, LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION, AND ACCUMULATION OF RUBBISH OF WHATEVER NATURE. OFF-SITE DISPOSAL, INCLUDING ANY HAZARDOUS MATERIAL ENCOUNTERED, SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.

- THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR ANY DESIGN CHANGES WHICH HE MAY INCORPORATE INTO THE PLANS WITHOUT PRIOR WRITTEN CONSENT AND/OR APPROVAL FROM THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EACH EXISTING RIGHT OF WAY WITH ORANGE COUNTY AND/OR THE CITY OF APOPKA.
- THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITION EXISTING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SODDED.
- AT LEAST 30 DAYS PRIOR TO ANTICIPATED COMPLETION OF SITE CONSTRUCTION, THE FINAL CERTIFICATION PROCESS WILL BEGIN. THE CONTRACTOR SHALL PROVIDE DOCUMENTS AND INFORMATION, IN A TIMELY MANNER, TO ENGINEER, INCLUDING, WITHOUT LIMITATION:
 - SURVEYED "AS-BUILT" MEETING THE REQUIREMENTS OF THE LOCAL JURISDICTION.
 - CONNECTION AND DENSITY TEST REPORTS, AND
 - PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS, AS REQUIRED, FOR WATER DISTRIBUTION AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEMS.

THE CONTRACTOR SHALL HAVE TWO (2) SETS OF AS-BUILT PLANS, SIGNED AND SEALED BY SURVEYOR OF RECORD, ON SITE THE DAY OF THE CIVIL ENGINEERING FINAL PUNCH LIST INSPECTION. THE GENERAL CONTRACTOR IS TO GIVE THE TWO AS-BUILT PLANS TO THE REPRESENTATIVE FROM Z DEVELOPMENT SERVICES COMPLETING THE INSPECTION. IF ANY DEFICIENCIES ARE NOTED, ONE SET OF RED-LINED AS-BUILT PLANS WILL BE GIVEN TO THE GC FOR REVISIONS TO BE MADE. REVISED AS-BUILTS WILL NEED TO BE FORWARDED TO THE ENGINEER BEFORE ANY CERTIFICATIONS CAN BE INITIATED.

- ALL TRAFFIC CONTROL DEVICES, EQUIPMENT AND INSTALLATION SHALL MEET THE REQUIREMENTS OF THE LOCAL JURISDICTION AND/OR FLORIDA DEPARTMENT OF TRANSPORTATION.
- VEHICLE PARKING SPACES SHALL CONFORM WITH LOCAL CODE. ACCESSIBLE PARKING SPACES AND ACCESS ROUTES SHALL FURTHER CONFORM WITH CURRENT ADA REQUIREMENTS AND LOCAL ORDINANCE.
- HANDICAP PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH CURRENT ADA REQUIREMENTS AND LOCAL ORDINANCE.
- LANDSCAPE SHALL BE TRIMMED TO ENSURE SIGHT VISIBILITY OF TRAFFIC CONTROL DEVICES.
- ALL PAVEMENT IS DIMENSIONED TO FACE OF CURB.
- ALL BUILDING DIMENSIONS AND TIES ARE TO FACE OF BUILDING. SEE ARCHITECTURAL PLANS.
- ALL PARKING LOT CURB RETURN RADII ARE 4' UNLESS OTHERWISE NOTED.

- BUILDING AND SITE IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE SOUTH PROPERTY LINE UNLESS OTHERWISE NOTED.

UTILITY NOTES

PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES, INCLUDING WITHOUT LIMITATION POTABLE WATER, RECLAIMED WATER, SANITARY SEWER, AND SERVICE UTILITIES, AT POINTS OF CONNECTION, POINTS OF CROSSING, AND/OR POTENTIAL CONFLICT. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

A. GENERAL

- THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO LIABILITY FOR ACCURACY AND COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION OR DEMOLITION AND TO HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.
- DUE TO GRAPHIC LIMITATIONS OF THE DRAWING SCALE, ALL STORM SEWER, DRAINAGE, WATER AND SANITARY SEWER MAINS, SERVICES, LATERALS, CONNECTIONS, AND APPURTENANCES DEPICTED HEREIN -- UNLESS OTHERWISE LOCATED BY DIMENSIONS -- REFLECT SCHEMATIC LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LOCATIONS DURING THE CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, INCLUDING ANY REQUISITE COORDINATION WITH THE RESPECTIVE GOVERNING AGENCY/UTILITY PROVIDER.
- ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF APOPKA PUBLIC SERVICES DEPARTMENT, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
- CONTRACTOR SHALL INSPECT PIPING AND MATERIALS BEFORE INSTALLATION TO DETECT APPARENT DEFECTS. MARK DEFECTIVE MATERIALS WITH WHITE PAINT AND PROMPTLY REMOVE FROM SITE.
- LAY SEWER PIPING BEGINNING AT LOW POINT OF SYSTEM (CONNECTION TO OFF SITE SYSTEM OR PUMP STATION), TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF LINES. PLACE BELL ENDS OR GROOVE ENDS OF PIPING FACING UPSTREAM.
- CLEAR INTERIOR OF PIPE OF DIRT AND OTHER SUPERFLUOUS MATERIAL AS WORK PROGRESSES. MAINTAIN SWAB OR DRAG IN LINE AND PULL PAST EACH JOINT AS IT IS COMPLETED. PLACE PLUGS IN ENDS OF UNCOMPLETED CONDUIT WHENEVER WORK STOPS.
- MAINTAIN 36" COVER OVER MAINS, AND 36" OVER SERVICES/LATERALS UNLESS OTHERWISE NOTED.
- WHEN PROPOSED CONSTRUCTION OCCURS AT EXISTING MANHOLES, INLETS, VAULTS, AND OTHER STRUCTURES, THE CONTRACTOR SHALL MODIFY THE STRUCTURES, FRAMES, AND GRATES TO MEET THE PROPOSED GRADES UNLESS OTHERWISE DIRECTED.
- INSTALL CONTINUOUS LOCATOR TAPE/WIRE, LOCATED DIRECTLY OVER POTABLE WATER MAINS AND SANITARY SEWER MAINS AT 6" TO 8" ABOVE PIPE.

- WHERE APPLICABLE, UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACK FILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH A.A.S.H.T.O. - T-99.
- CONTRACTOR SHALL PROVIDE SLEEVES FOR IRRIGATION LINES AND SITE LIGHTING UNDER PAVEMENT. COORDINATE WITH GENERAL CONTRACTOR.
- ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATAION OF UTILITY/STORM PIPES DURING INSTALLATION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS COMPLETE FOR WATER, WASTEWATER AND STORMWATER SYSTEMS SO TIMELY CERTIFICATIONS MAY BE INITIATED. SATISFACTORY BACTERIOLOGICAL TEST RESULTS, PRESSURE TEST RESULTS, AND AN AS-BUILT SURVEY SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.

- JOINING DISSIMILAR MATERIALS.
- DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING REQUIREMENTS:
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE; 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.

- B. MATERIALS (WATER)
- SERVICE PIPE SHALL BE POLYETHYLENE (PE) TUBING, 0.89 MINIMUM.
 - WATER MAINS SHALL BE PVC ASTM C900, OR 14 WITH INTEGRAL BELLS AND ELASTOMERIC JOINTS PER ASTM C3139 AND GASKETS PER ASTM F477.
 - DUCTILE IRON PIPE (D.I.P.), IF REQUIRED, SHALL CONFORM TO ANSI/AWWA A21.51/C151, CLASS 50 (MIN.) PIPE FOR ALL SIZES.
 - CORPORATION STOPS SHALL BE BRASS, SIZED TO MATCH THE TAP DIAMETER, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH SERVICE PIPE AND THREADED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C880. CURB STOPS SHALL BE SIZED TO MATCH THE METER SIZE AND CONFORM WITH AWWA C880 AND AWWA 5301.
 - FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C880 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
 - TAPPING SADDLES SHALL BE USED FOR ALL SERVICE LINE TAPS. SERVICE SADDLES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY. FOR PVC PIPE, DOUBLE STRAPS SHALL BE CORROSION RESISTANT ALLOY STEEL, SIZED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE BUTA-H RUBBER.
 - ALL POTABLE WATER PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE BLUE IN COLOR VIA INTEGRAL PIPE COLOR, STRIPING, OR OTHER METHODS.

- C. MATERIALS (SEWER)
- ALL GRAVITY SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3834, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
 - ALL FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
 - BEDDING AND INITIAL BACK FILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER.

- D. MATERIALS (STORM)
- REINFORCED CONCRETE PIPE (RCP)-O-RING PIPE SHALL CONFORM TO ASTM C 76 (CLASS III), UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATION FOR JOINTS FOR RCP USING RUBBER GASKETS.
 - ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
 - HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-262 (3'-10", M-294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE - SMOOTH INSIDE, 4'-60", AND MP7 (60" TYPE S).

- A BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F-477.
- PVC STORM SEWER PIPE (12" OR LESS) AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D3034, SDR26, WITH PUSH-ON RUBBER GASKET JOINTS.

UTILITY DISINFECTING & TESTING NOTES

WATER MAINS THAT ARE INCLUDED IN THIS PROJECT THAT WILL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C685. ALL OTHER WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C680.

LEAKAGE TESTS ARE REQUIRED AS FOLLOWS: 1) THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE PIPE; 2) EXFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET; 3) AIR TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C 828 FOR CLAY PIPE, ASTM C 924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES.

DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651 DISINFECTING WATER MAINS SATISFACTORY BACTERIOLOGICAL TEST RESULTS SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.

THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE ACTIVE EXISTING MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, AND TESTING OF THE NEW MAIN, AS SPECIFIED IN AWWA C651-92.

CONTRACTOR SHALL UTILIZE A JUMPER CONNECTION DURING WATER MAIN TESTING. ALTERNATE TYPES OF BACKFLOW PREVENTION MAY BE UTILIZED AS APPROVED BY INSPECTION STAFF AND ENGINEER.

UTILITY SEPARATION NOTES

- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."
- NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY - OR VACUUM - TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE; AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY - OR PRESSURE - TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

UTILITY CONTACTS

- SANITARY SEWER: CITY OF APOPKA PUBLIC SERVICES DEPARTMENT, 748 EAST CLEVELAND STREET, APOPKA, FLORIDA 32703. PHONE: (407) 793-1731
- WATER: CITY OF APOPKA PUBLIC SERVICES DEPARTMENT, 748 EAST CLEVELAND STREET, APOPKA, FLORIDA 32703. PHONE: (407) 793-1731
- STORMWATER: SOUTH JOHN'S RIVER WATER MANAGEMENT DISTRICT, 601 SOUTH LAKE DESTINY ROAD, SUITE 200, MAITLAND, FL 32751. PHONE: (407)659-4800
- ELECTRIC: DUKE ENERGY, 482 EAST CROWN POINT ROAD, WINTER GARDEN, FL 34787. PHONE: 877-372-8477

SITE DATA TABLE

PARCEL ID NUMBER	09-21-28-0196-03-520 09-21-28-0196-03-512 09-21-28-0196-03-514
FUTURE LAND USE	COMMERCIAL
ZONING	RETAIL COMMERCIAL DISTRICT (C-1)
PROPOSED USE	GENERAL BUSINESS ESTABLISHMENT
ADJACENT FUTURE LAND USE	NORTH: COMMERCIAL SOUTH: E. MICHAEL GLADDEN BOULEVARD EAST: S. PARK AVENUE WEST: COMMERCIAL
ADJACENT ZONING	NORTH: RETAIL COMMERCIAL DISTRICT (C-1) SOUTH: E. MICHAEL GLADDEN BOULEVARD EAST: S. PARK AVENUE WEST: RETAIL COMMERCIAL DISTRICT (C-1)
ACREAGE/SQUARE FOOTAGE	0.97 AC. / 42,364 S.F.
BUILDING HEIGHT	PROPOSED: 21' MAXIMUM: 35'
FLOOR AREA RATIO	PROPOSED: 17.9% MAXIMUM: 25%
BUILDING SETBACKS	REQUIRED: SIDE (WEST) 15.0 FT. FRONT (E. MICHAEL GLADDEN BLVD.) 15.0 FT. REAR (NORTH) 10.0 FT. SIDE (S. PARK AVE.) 10.0 FT. PROVIDED: SIDE (WEST) 162.5 FT. FRONT (E. MICHAEL GLADDEN BLVD.) 15.0 FT. REAR (NORTH) 47.6 FT. SIDE (S. PARK AVE.) 10.0 FT.
PARKING SPACES	PROVIDED: 25 REQUIRED: 25
OFF-STREET LOADING SPACE	PROVIDED: 1 REQUIRED: 1
NUMBER OF EMPLOYEES	4
VARIANCE / WAIVER REQUEST	NONE
VARIANCE REQUEST	YES

SITE AREA CALCULATIONS	SQUARE FOOTAGE	ACREAGE
SITE AREA	42,364 S.F.	(0.97 AC.)
PROJECTIONS AREA	42,364 S.F.	(0.97 AC.)
FLOORED AREA	19,419 S.F.	(0.45 AC.)
IMPERVIOUS AREA	22,945 S.F.	(0.52 AC.)
BUILDING AREA	7,600 S.F.	(0.17 AC.)
PAVEMENT	15,345 S.F.	(0.35 AC.)

PARKING CALCULATIONS

ONE PARKING SPACE PER 300 S.F. OF GROSS FLOOR AREA

PARKING REQUIRED = 7,600 S.F. / 300 S.F. = 25 SPACES

PARKING PROVIDED:

REGULAR PARKING SPACES	23
HANDICAP PARKING SPACES	2
TOTAL PARKING SPACES	25

LOADING/UNLOADING AREA CALCULATION


LOADING/UNLOADING SPACE REQUIRED:

- ONE SPACE FOR THE FIRST 10,000 S.F. OF GROSS FLOOR AREA AND 1 SPACE FOR EACH ADDITIONAL 20,000 S.F.
- BUILDING AREA = 7,600 S.F.

SPACE REQUIRED = 1

SPACE PROVIDED = 1

LEGEND

PROPOSED CONTOUR	--- 73.50 ---
MEET EXISTING GRADE	MEG
EDGE OF PAVEMENT	EPG
SIDEWALK	SW
GRADE BREAK	--- GB ---
SPOT ELEVATION	12.55
DIRECTION OF FLOW AND PERCENT SLOPE	→ 1% ↓
STORM SEWER & INLET	
DOWN SPOUT DRAINS	DSO
SANITARY SEWER & MANHOLE	SS -- C.C.
CLEANOUT	--- CO ---
WATER SERVICE	--- WS ---
FIRE HYDRANT	--- FH ---
WATER METER	--- WM ---
BACKFLOW PREVENTION DEVICE	--- BFPD ---
GATE VALVE	--- GV ---
REDUCER	--- R ---
UNDERGROUND TELEPHONE	--- UT ---
UNDERGROUND ELECTRIC	--- UGE ---
SITE LIGHTING	--- SL ---
TRANSFORMER	--- TR ---
AIR CONDITIONING UNIT	--- AC ---
PARKING SPACE TOTALS	(B) (C) (D) (E)
6" CURBING WITH DIMENSION (TO FACE OF CURB U.N.O.)	12" (B) (C) (D) (E)
DETAIL NUMBER	--- DET ---
SHEET NUMBER	--- SHEET ---

GC NOTES:
A COPY OF THIS SHEET OO SHALL BE PROVIDED TO ALL BIDDERS AND SUB-CONTRACTORS.

Z DEVELOPMENT
s e r v i c e s
CA 29354

708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803

PH: (407) 271-8910
FAX: (407) 442-0604

REVISION	DATE	REVISION	DATE
1	12-04-17		
2	02-18-18		

CITY COMMENTS
CITY COMMENTS

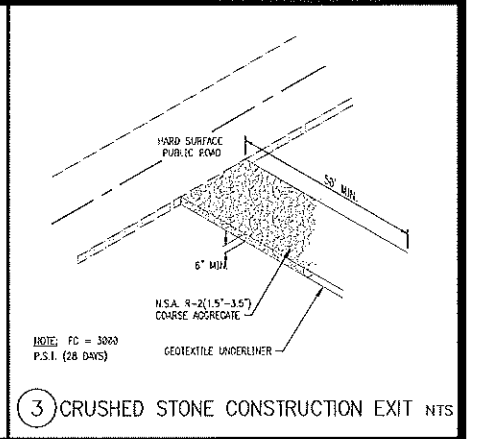
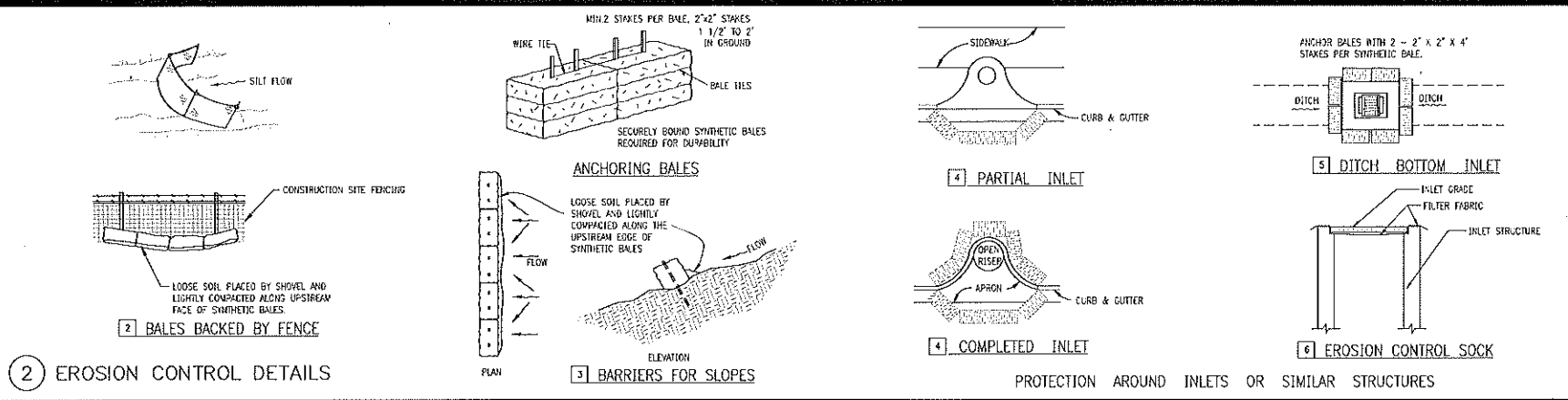
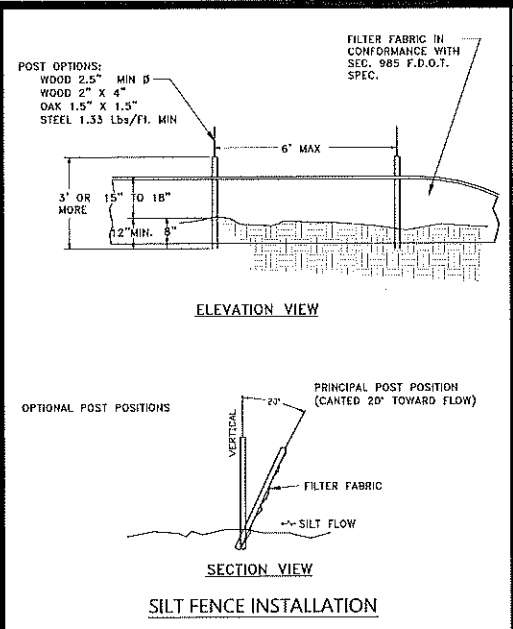
REVISION DATE
REVISION DATE

DATE: 07-24-17
DRAWN: SR
CHECKED: RZ

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. & SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

CO
CIVIL DATA & NOTES

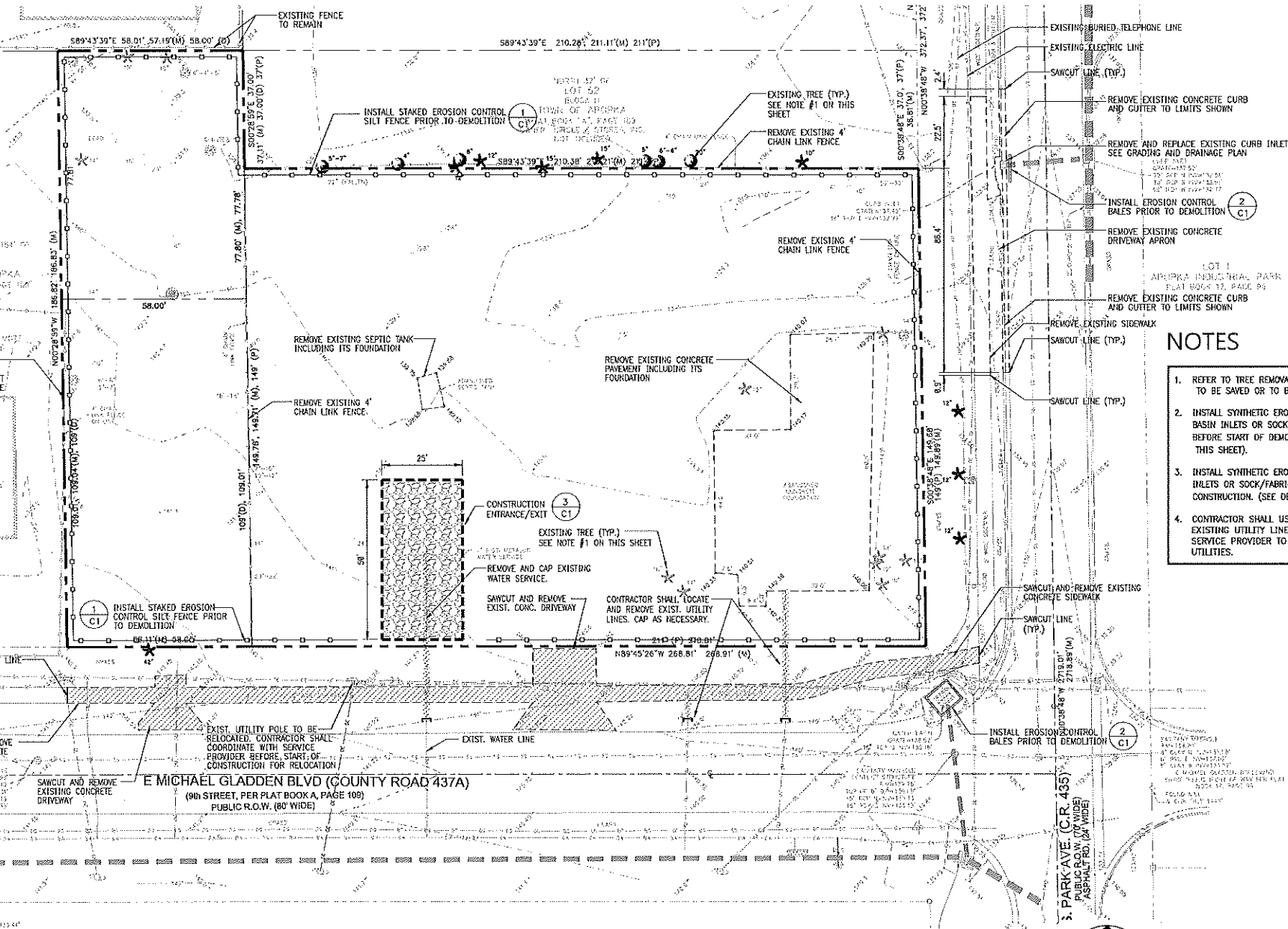
PROJECT NO.: 2017.145



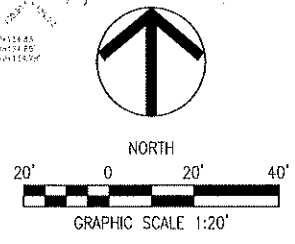
CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 602



- NOTES**
- REFER TO TREE REMOVAL PLAN FOR DESIGNATION OF EXISTING TREES TO BE SAVED OR TO BE REMOVED.
 - INSTALL SYNTHETIC EROSION CONTROL BALES AROUND EXISTING CATCH BASIN INLETS OR SOCK/FABRIC UNDER EXISTING CATCH BASIN INLETS BEFORE START OF DEMOLITION OR CONSTRUCTION. (SEE DETAILS ON THIS SHEET).
 - INSTALL SYNTHETIC EROSION CONTROL BALES AROUND NEW CATCH BASIN INLETS OR SOCK/FABRIC UNDER NEW CATCH BASIN INLETS DURING CONSTRUCTION. (SEE DETAILS ON THIS SHEET).
 - CONTRACTOR SHALL USE CAUTION WHEN EXCAVATING NEAR THE EXISTING UTILITY LINES. CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDER TO DETERMINE EXACT LOCATION OF THESE UTILITIES.



REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN

Z DEVELOPMENT
S e r v i c e s
CA 29354

708 E. COLONIAL DR., STE. 100
ORLANDO, FL 32803

PH: (407) 271-8910
FAX: (407) 442-0604

REVISION	DATE	REVISION	DATE

ROBERT ZIEBINSKI, P.E., LEED AP
FL REG. # 18052

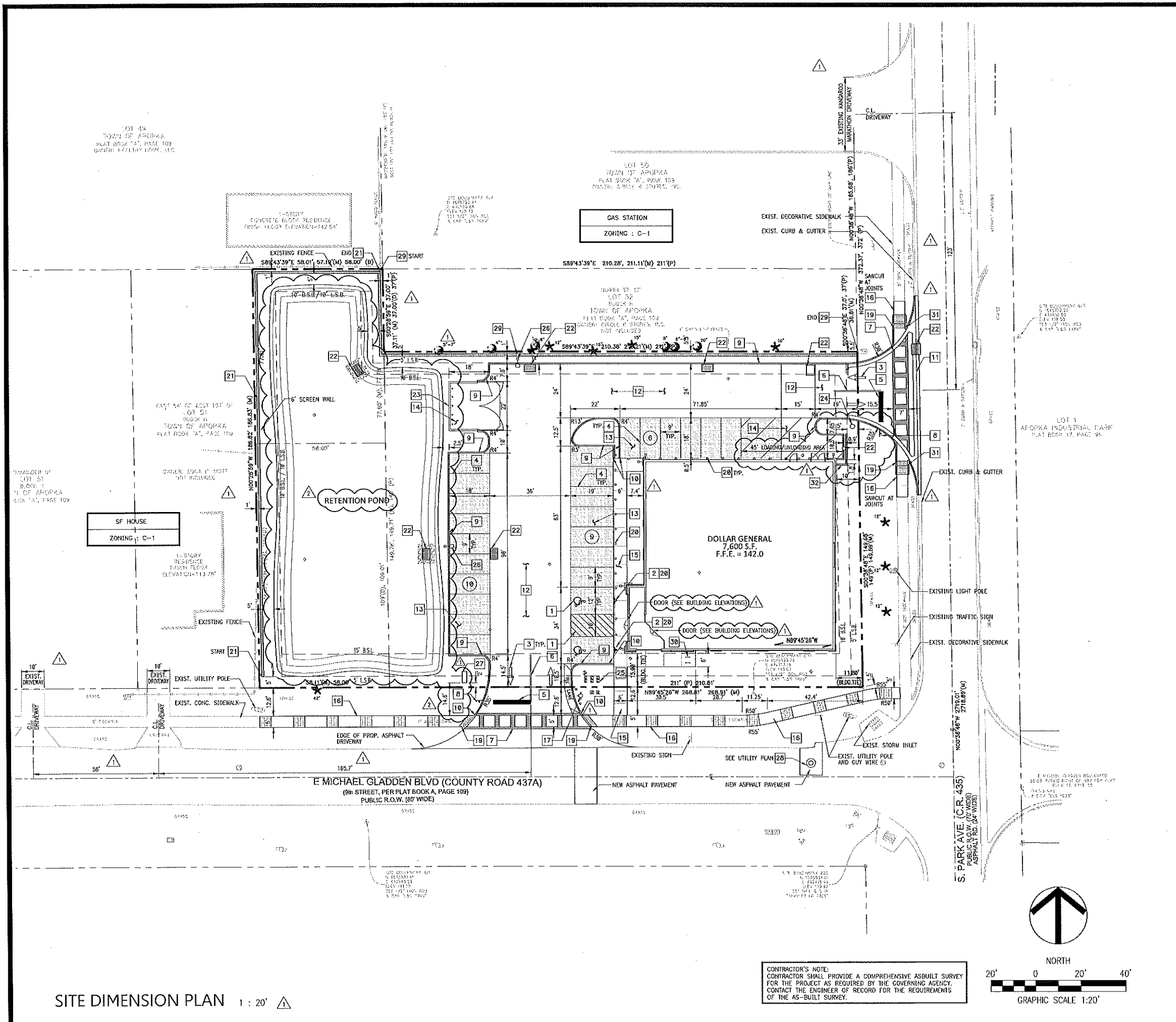
**DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703**

DATE: 07-24-17
DRAWN: SR
CHECKED: RZ

C1

DEMOLITION &
STORMWATER POLLUTION
PREVENTION PLAN

PROJECT NO.: 2017.145

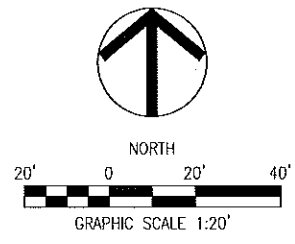


PLAN NOTES

- 1 HANDICAP PARKING, STRIPING & HANDICAP ACCESS AISLE (1 CS)
- 2 HANDICAP PARKING SIGN (2 PLACES) (2 CS)
- 3 PAVEMENT MARKING (3 CS)
- 4 4" WHITE (PAINT)
- 5 24" WHITE STOP BAR (PAINT) (3 CS)
- 6 6" DOUBLE STRIPING (FDOT INDEX 17346) (3 CS)
- 7 CROSSWALK STRIPING - THERMOPLASTIC (FDOT INDEX 17346) (3 CS)
- 8 30" STOP SIGN (R1-1)
- 9 VERTICAL CURB (4 CS)
- 10 TRANSITION CURB (FDOT INDEX 300) (5 CS)
- 11 VALLEY GUTTER (10 CS)
- 12 ASPHALT PAVEMENT - HEAVY DUTY (6 CS)
- 13 ASPHALT PAVEMENT - MEDIUM DUTY (8 CS)
- 14 CONCRETE PAVEMENT (7 CS)
- 15 CONCRETE WALK WITH EXPANSION JOINTS AND SCORE MARKS (9 CS)
- 16 DECORATIVE SIDEWALK (1 CS)
- 17 FIRE HYDRANT WITH BOLLARDS (1 CS)
- 18 NOT USED
- 19 DETECTABLE WARNING (11 CS)
- 20 CONCRETE BOLLARD (12 CS)
- 21 PRE-CAST CONCRETE SCREEN WALL (SEE STRUCTURAL PLAN)
- 22 DRAINAGE STRUCTURE (SEE SHEET C4)
- 23 SOLID WASTE ENCLOSURE (1 CS, 2 CS, 3 CS)
- 24 POLE MOUNTED TRANSFORMER APPROX. LOCATION (SEE UTILITY PLAN)
- 25 WATER METERS AND BACKFLOW PREVENTERS (SEE SHEET C3)
- 26 LIGHT POLE - 2 FT. FROM EDGE OF PAVEMENT (SEE PHOTOMETRICS PLAN AND DETAIL SHEETS)
- 27 MONUMENT SIGN (SEE SIGNAGE PLANS, BASE SHALL MATCH BUILDING STONE MATERIAL)
- 28 SANITARY SEWER STRUCTURE (SEE SHEET C3)
- 29 SEGMENTAL RETAINING WALL (17 CS, 1 CS, 2 CS)
- 30 BICYCLE RACK (4 SPACES) (16 CS)
- 31 HANDICAP RAMP (CR 21 - FDOT INDEX 304)
- 32 6 FT. MASONRY WALL (SEE STRUCTURAL PLAN) (2 CS)

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

CONTRACTOR'S NOTE:
 CONTRACTOR SHALL PROVIDE A COMPREHENSIVE ASBUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY.
 CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS-BUILT SURVEY.



SITE DIMENSION PLAN 1 : 20' Δ

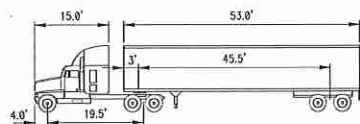
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REVISION	DATE	REVISION	DATE
Δ CITY COMMENTS	12-04-17		
Δ CITY COMMENTS	02-09-18		

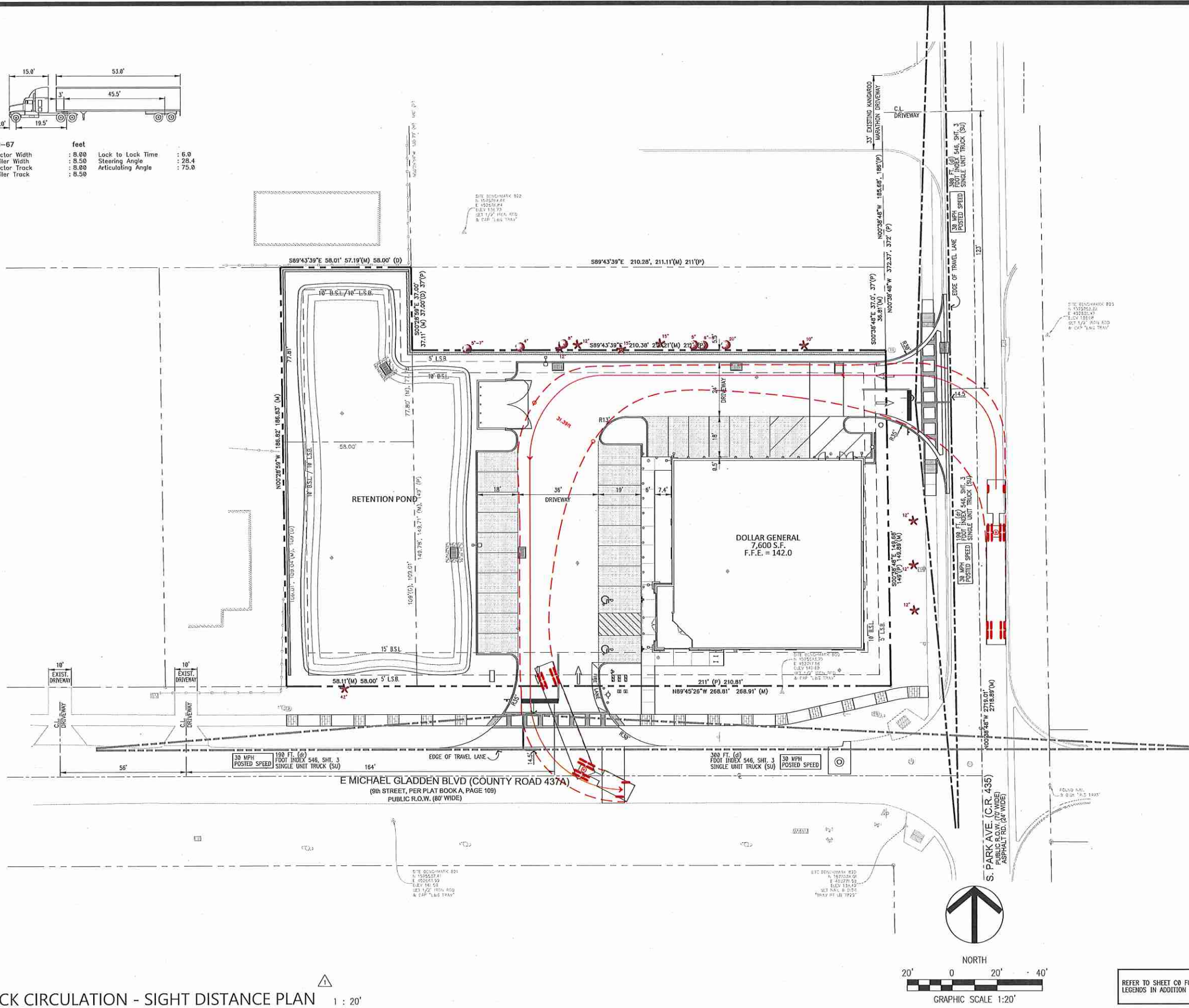
DOLLAR GENERAL STORE
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APOPKA, FLORIDA 32703

DATE: 07-24-17
 DRAWN: SG
 CHECKED: RZ

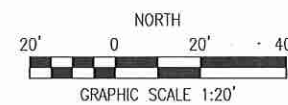
C2.0
 SITE DIMENSION PLAN
 PROJECT NO.: 2017.145



WB-67	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Track	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



TRUCK CIRCULATION - SIGHT DISTANCE PLAN 1 : 20'



REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

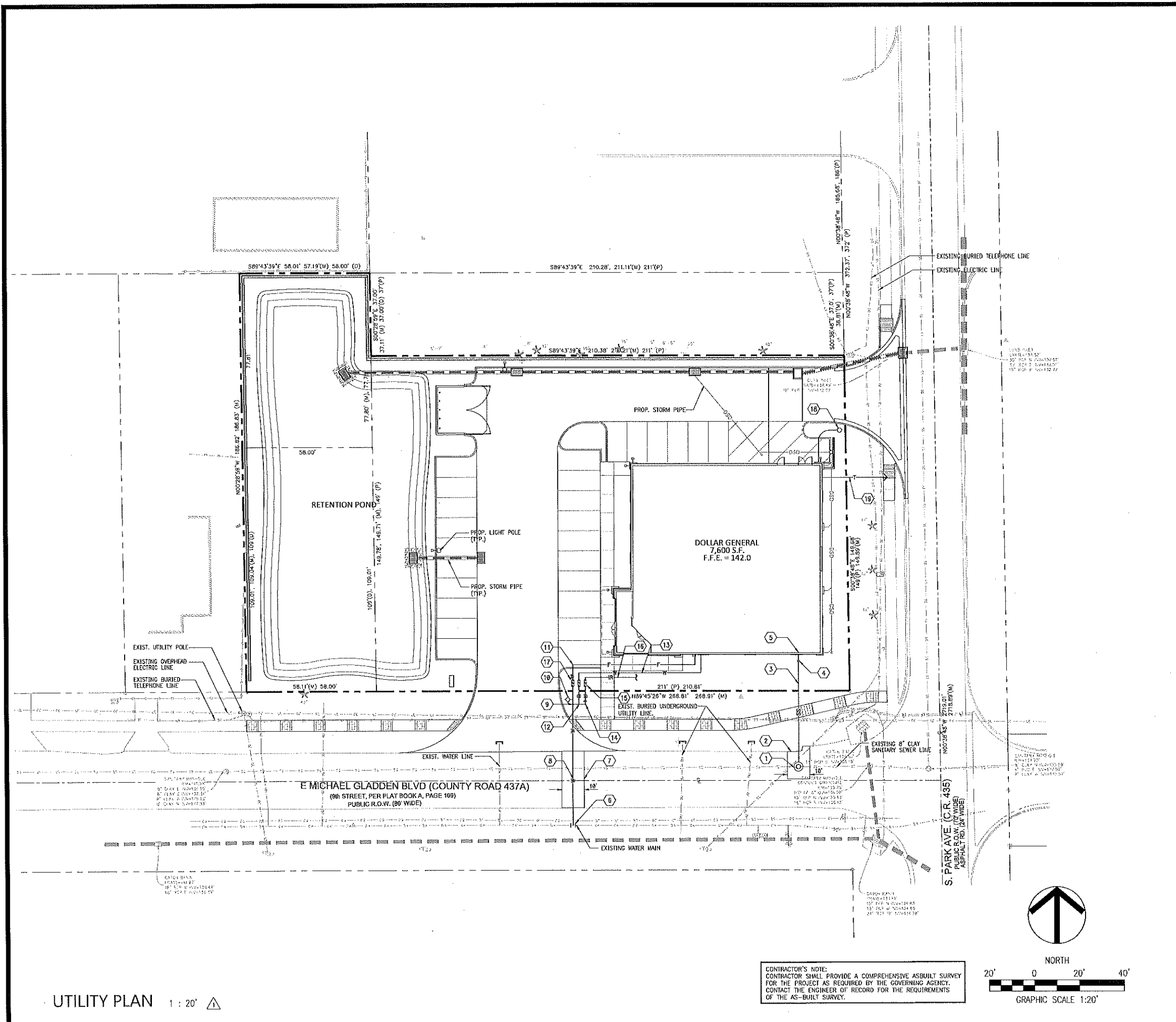
RZ DEVELOPMENT
s e r v i c e s
 CA 29354
 708 E. COLONIAL DR., STE. 100
 ORLANDO, FL 32803
 PH: (407) 271-8910
 FAX: (407) 442-0604

REVISION	DATE	REVISION	DATE
Δ CITY COMMENTS	12-04-17		

ROBERT ZIEGENHUIS, P.E., LEED AP
 FL REG. # 56752

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

DATE: 07-24-17
 DRAWN: SR
 CHECKED: RZ
C2.1
 TRUCK CIRCULATION -
 SIGHT DISTANCE PLAN
 PROJECT NO.: 2017.145

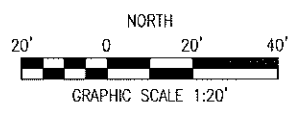


UTILITY KEY NOTES

- SANITARY SEWER**
- 1 SANITARY SEWER MANHOLE
TOP OF COVER = 148.0±
H. INV. = 136.4 (PROPOSED 6" PVC)
W. & E. INV. = 135.66± (EXISTING 8" CLAY)
 - 2 REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT FOR SANITARY SEWER LINE CONNECTION.
 - 3 48 LF - 6" PVC AT 2% SLOPE
 - 4 DROP CLEANOUT
INV. IN = 138.5±
INV. OUT = 137.35
 - 5 SANITARY SEWER STUB-OUT LOCATION FROM BUILDING
- WATER**
- 6 6" X 6" WET TAP WITH 6" TAPPING SLEEVE AND 6" VALVE
 - 7 REMOVE, SAWCUT AND REPLACE EXISTING ASPHALT PAVEMENT FOR WATER LINE CONNECTION
 - 8 135 LF - 6" C900 PVC
 - 9 6" X 2" TEE
 - 10 6" X 6" TEE AND FIRE HYDRANT ASSEMBLY
 - 11 6" - 90° BEND
 - 12 2" X 1" TEE, 1" METER AND 1" REDUCED PRESSURE ZONE BACKFLOW PREVENTER
 - 13 80 LF - 1" BLUE PE
 - 14 2" ELBOW AND 2" X 1 1/2" REDUCER
 - 15 1" METER AND 1" REDUCED PRESSURE ZONE BACKFLOW PREVENTER FOR IRRIGATION
 - 16 1 1/2" PVC WATER LINE FOR IRRIGATION
 - 17 6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCV) WITH FIRE DEPARTMENT CONNECTION (FDC)
- DRY UTILITIES**
- 18 POWER POLE MOUNTED TRANSFORMER AND UNDERGROUND POWERLINE APPROXIMATE LOCATION.
CONTRACTOR SHALL COORDINATE WITH DUKE ENERGY FOR POWER POLE AND TRANSFORMER LOCATION AND NEW POWER SERVICE BEFORE START OF CONSTRUCTION.
 - 19 UNDERGROUND TELEPHONE SERVICE.
CONTRACTOR SHALL COORDINATE NEW UNDERGROUND TELEPHONE SERVICE WITH SERVICE PROVIDER BEFORE START OF CONSTRUCTION.

UTILITY PLAN 1 : 20'

CONTRACTOR'S NOTE:
CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS-BUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY.
CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS-BUILT SURVEY.



REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

Z DEVELOPMENT
e r v i c e s
CA 29354

PH: (407) 271-8910
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ORLANDO, FL 32803
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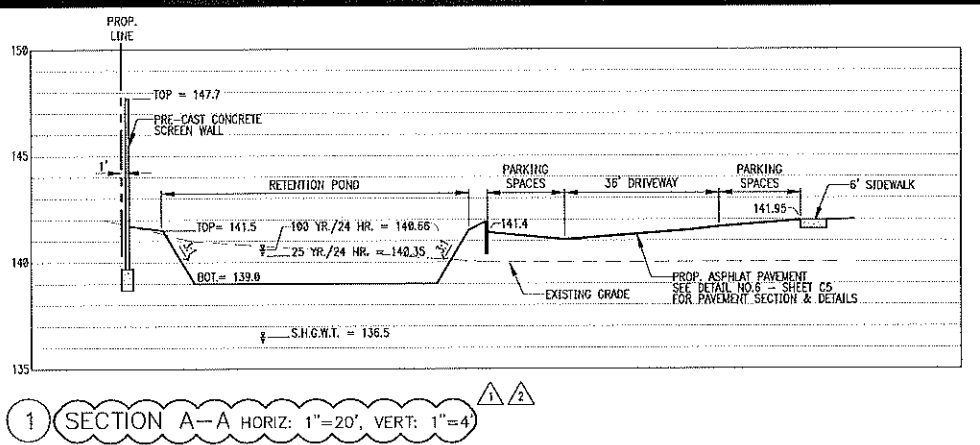
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19			

DATE: 07-24-17
DRAWN: SR
CHECKED: RZ

C3
UTILITY PLAN

PROJECT NO.: 2017.145

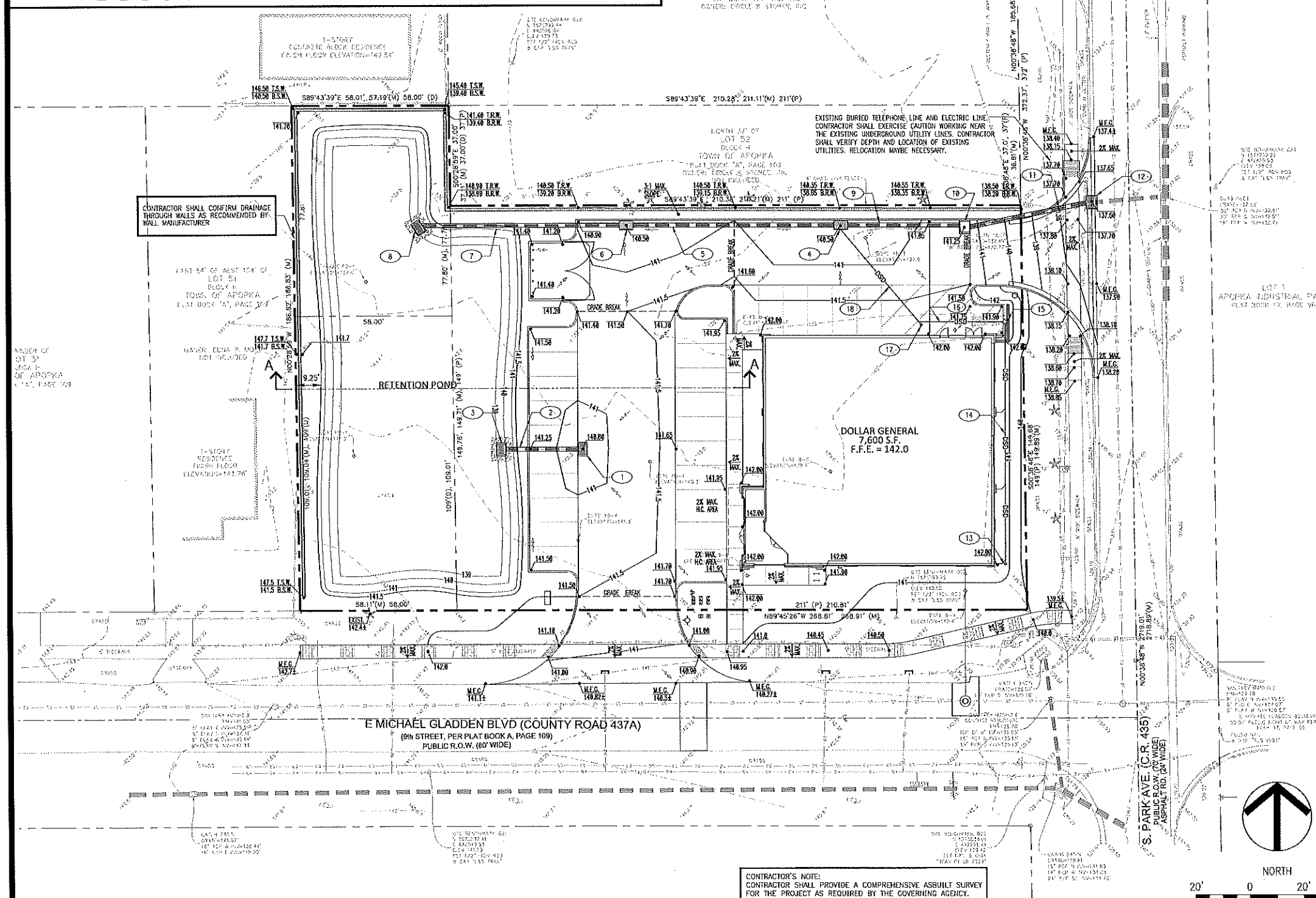
DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703



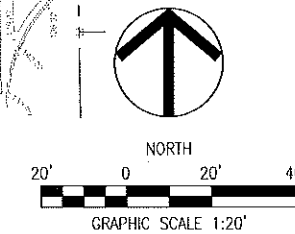
1 SECTION A-A HORIZ. 1"=20', VERT. 1"=4'

GRADING & DRAINAGE KEY NOTES

- 1 FDOT TYPE "F" INLET (INDEX 232)
TOP OF COVER = 140.80
INV. = 137.65
- 2 28 LF - 18" HDPE AT 1% SLOPE
- 3 FDOT TYPE "C" INLET (INDEX 232)
TOP OF COVER = 140.80
INV. = 137.55
- 4 FDOT TYPE "F" INLET (INDEX 232)
TOP OF COVER AND GRATE = 140.50
W. INV. = 137.65
E. INV. = 137.65
S. INV. = 138.0
- 5 75 LF - 18" HDPE AT 0.15% SLOPE
- 6 FDOT TYPE "F" INLET (INDEX 232)
TOP OF COVER = 140.5
W. & E. INV. = 137.50
- 7 74 LF - 18" HDPE AT 0.15% SLOPE
- 8 FDOT TYPE "C" INLET (INDEX 232)
TOP OF COVER = 140.0
INV. = 137.35
- 9 43 LF - 18" HDPE AT 0% SLOPE
- 10 CONTROL STRUCTURE (MODIFIED TYPE "D" INLET) 15
TOP OF SOLID COVER = 141.25
W. INV. = 137.60
E. INV. = 137.20
- 11 45 LF - 18" RCP AT 8.7% SLOPE
- 12 FDOT TYPE "V" INLET (INDEX 232)
W. INV. = 133.25 (PROPOSED 18" RCP)
E. INV. = 132.77 (EXISTING 18" RCP)
TOP OF GRATE = 137.80
- 13 CLEANOUT 13
INV. = 139.85 TYP.
- 14 90 LF - 10" PVC AT 1% SLOPE
- 15 ADS DRAIN BASIN (WITH SOLID COVER)
TOP OF COVER = 141.95
W. & S. INV. = 138.75
- 16 30 LF - 10" HDPE AT 1% SLOPE
- 17 CLEANOUT
INV. = 138.45
- 18 45 LF - 10" HDPE AT 1% SLOPE



CONTRACTOR'S NOTE:
CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS-BUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY. CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS-BUILT SURVEY.



REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

GRADING AND DRAINAGE PLAN 1 : 20'

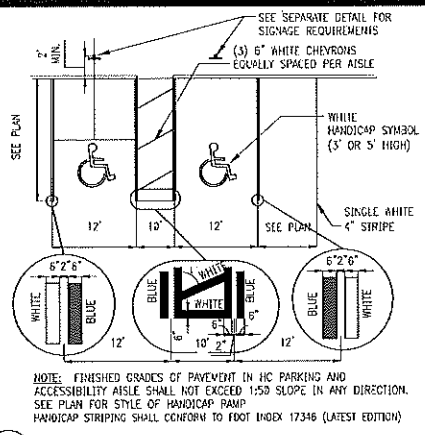
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ORLANDO, FL 32803
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REVISION	DATE	REVISION	DATE
1	12-01-17		
2	02-19-19		

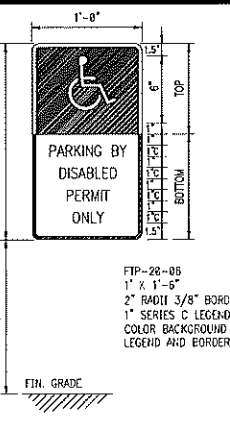
REVISION COMMENTS
CITY COMMENTS

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

DATE: 07-24-17
DRAWN: SB
CHECKED: RZ
C4
GRADING & DRAINAGE
PLAN
PROJECT NO.: 2017.145

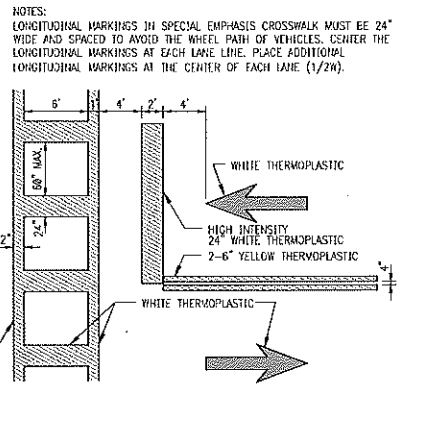
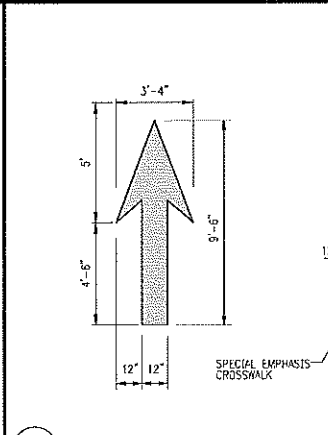


NOTES:
 1. ALL LETTERS ARE 1" SERIES C, 1" SPACING BETWEEN LINES OF TEXT PER MUTCD.
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 4. (THE IDENTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER.
 5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 6. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 7. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.

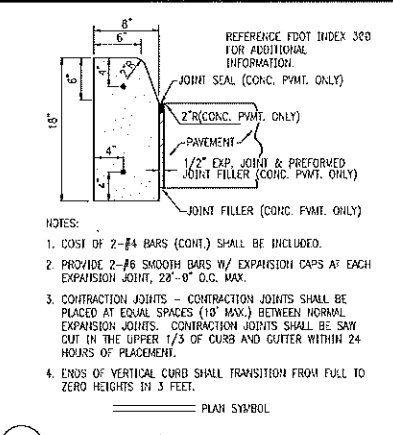


1 HANDICAP STRIPING (REFER. FOOT INDEX 17346) NTS

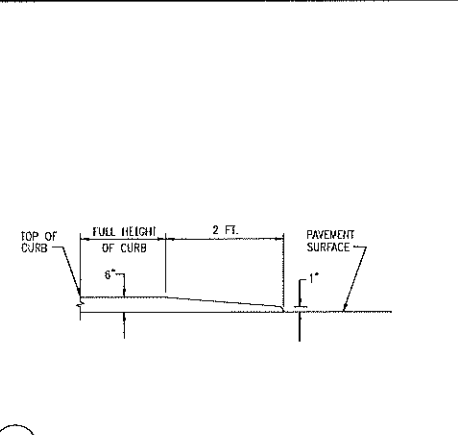
2 HANDICAP SIGN (REFER. FOOT INDEX 17355) NTS



3 PAVEMENT MARKINGS (REFER. FOOT INDEX 17346) NTS



4 TYPE "D" CURB (3,500 PSI (MIN)) NTS

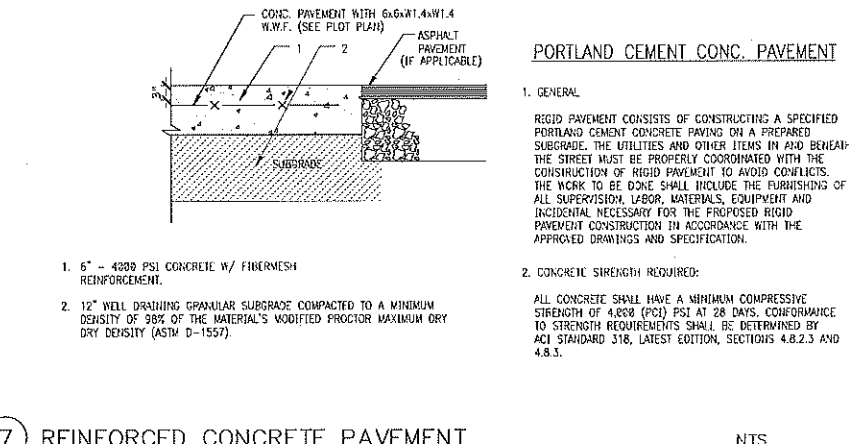


5 TRANSITION CURB (REFER. FOOT INDEX 300) NTS

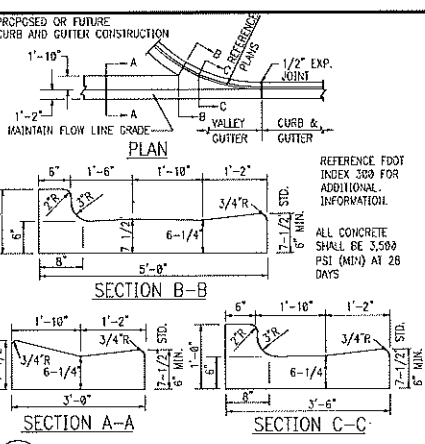
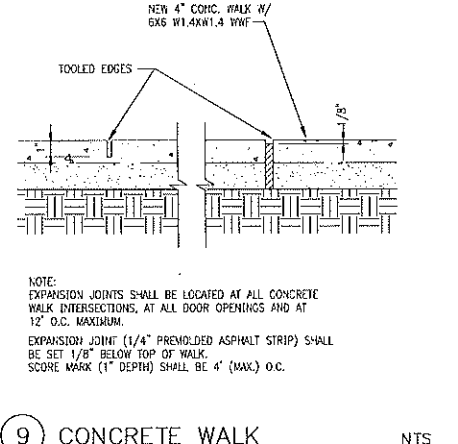
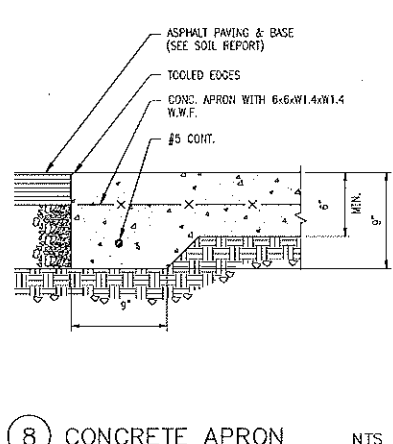
SERVICE LEVEL	PAVEMENT THICKNESS		
	SURFACE COURSE (INCHES)	BASE COURSE (INCHES)	STABILIZED SUBGRADE (INCHES)
LIGHT DUTY (PARKING AREAS)	1.5	6.0	12.0
HEAVY DUTY (DRIVEWAYS)	2.5	10.0	12.0

FOOT TYPE S-1 ASPHALTIC CONCRETE (MATERIAL SHOULD MEET THE CURRENT FOOT STANDARD AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION).
 APPLY PRIME COAT AS SPECIFIED IN APPLICABLE DOT SPECIFICATION, AT AN APPLICATION RATE OF 0.25 - 0.28 GAL/STD.
 FOR LIME ROCK BASE COURSE COMPACTED TO A DENSITY OF NOT LESS THAN 98% MAXIMUM DENSITY AS DETERMINED BY ASTM T-155, STABILIZED TO A MINIMUM LIME ROCK BEARING RATIO (LBR) OF 100.
 FOR SOIL CEMENT (350 PSI DESIGN OR EQUIVALENT), MATERIAL SHOULD MEET FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) REQUIREMENTS.
 EXTEND BASE 6" BEYOND FOR APPLICATIONS WITHOUT CURB & GUTTER, SIDEWALKS, BUILDINGS OR OTHER STRUCTURES.
 REMOVAL & REPLACEMENT OF UNSUITABLE SUBGRADE MATERIAL AS SPECIFIED IN THE GEOTECHNICAL REPORT.
 STABILIZED SUBGRADE WITH A MINIMUM LIME ROCK BEARING RATIO (LBR) OF 40, STABILIZE TOP SIX INCHES TO 58 PSI TBY
 OR COMPACTED TO ATLEAST 98% OF THE MATERIAL'S ASTM D-1557 IF SOIL CEMENT IS USED AS BASE MATERIAL.
 SUBGRADE SHALL EXTEND 12 INCHES BEYOND BACK OF CURB

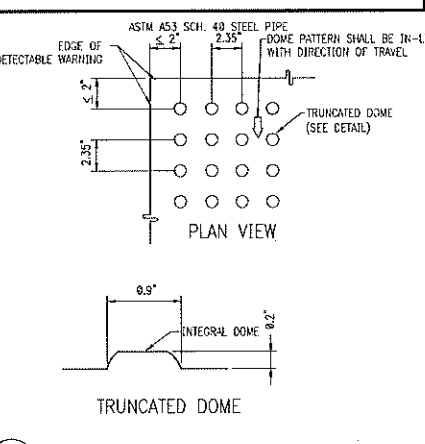
6 TYPICAL PAVEMENT SECTION NTS



7 REINFORCED CONCRETE PAVEMENT NTS

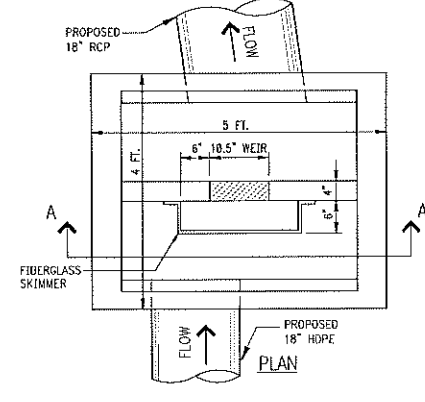
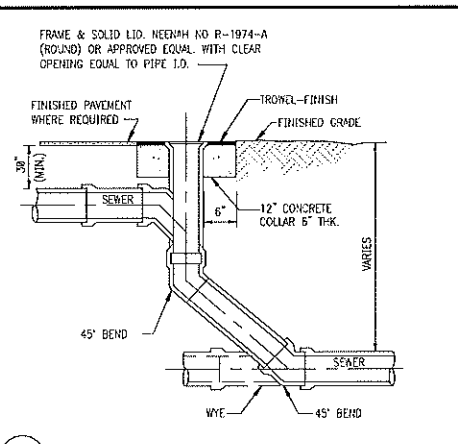
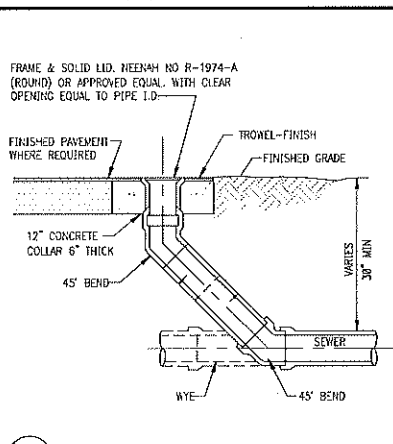
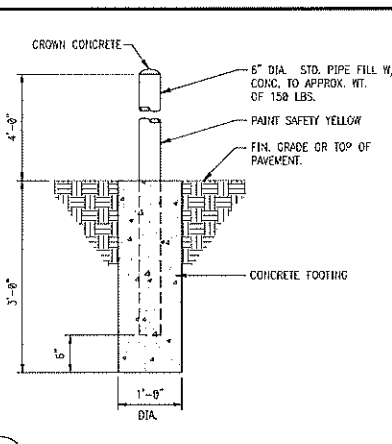


10 VALLEY GUTTER (REFER. FOOT INDEX 300) NTS

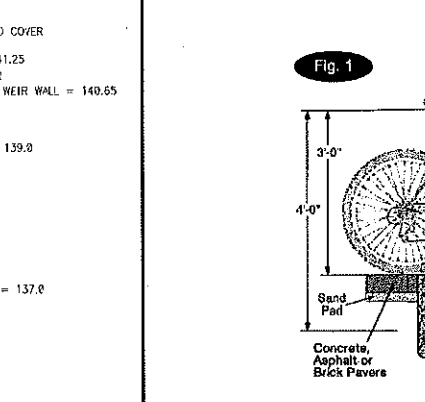
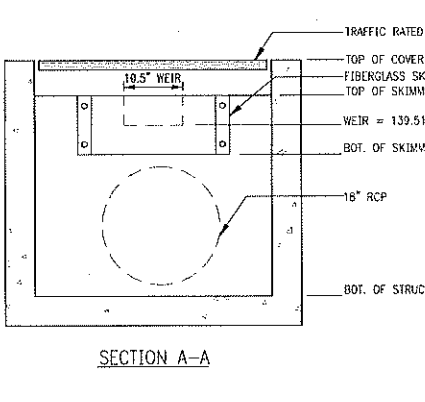


11 DETECTABLE WARNING (REFER. FOOT INDEX 304) NTS

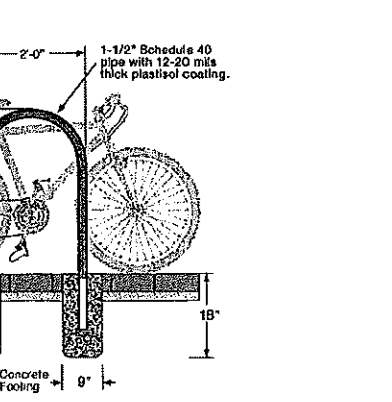
NOTE:
 1. CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPE SHALL BE 0.02 OR FLATTER.
 2. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING OR APPLYING A TRUNCATED DOME MATERIAL IN CONFORMANCE WITH THE U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, A.D.A. ACCESSIBILITY GUIDELINES, SECTION 4.29.2. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
 3. WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
 4. WHERE ADJACENT WALKING SURFACES ARE COLORED OR ARE CONSTRUCTED WITH MATERIALS OTHER THAN STANDARD CLASS 1 PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH SECTION 522 OF THE SPECIFICATIONS, THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT OR LIGHT-ON-DARK, (SAFETY YELLOW OR BRICK RED)
 5. RECOMMENDED MANUFACTURER: ENGINEERED PLASTICS, INC. (ARMOR TILE) OLYMPIC TOWERS, 300 PEARL STREET, SUITE 200, BUFFALO, NY 14262. PHONE: (828) 682-2525



15 CONTROL STRUCTURE (FOOT TYPE "D" INLET) NTS



16 BICYCLE RACK NTS



17 SEGMENTAL RETAINING WALL NTS

Z DEVELOPMENT
 S e r v i c e s
 CA 29354
 708 E. COLONIAL DR., STE. 100
 ORLANDO, FL 32803
 PH: (407) 271-8910
 FAX: (407) 442-0604

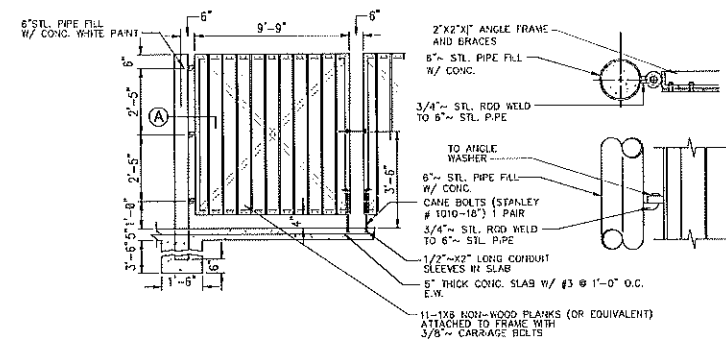
REVISION	DATE	REVISION	DATE
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2	02-19-18		

DATE: 07-24-17
 DRAWN: SR
 CHECKED: RZ

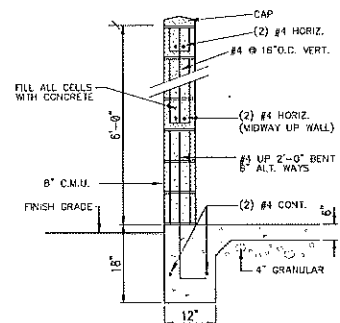
DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

ROBERT ZIEGENBUS, P.E., LEED AP
 FL REG. # 96792

C5
 CONSTRUCTION DETAILS
 PROJECT NO.: 2017.145



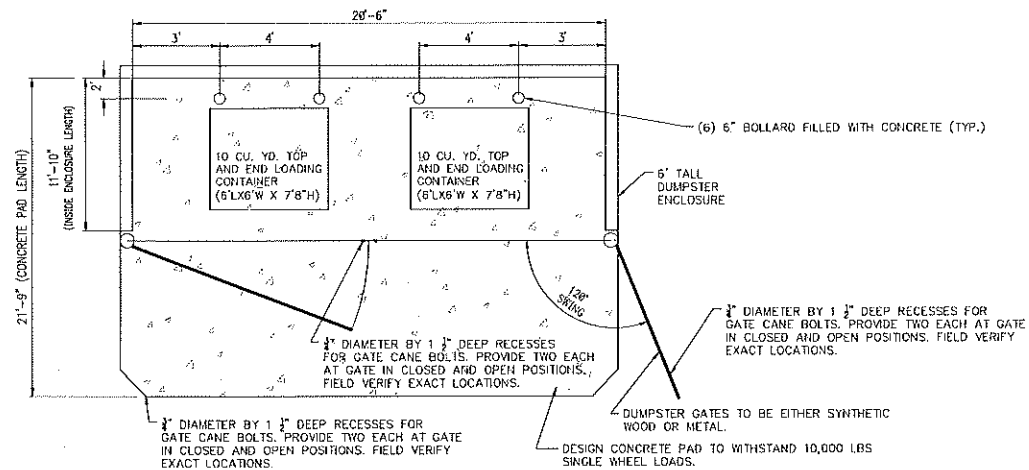
1 DUMPSTER GATE & HINGE NTS
CONCRETE 28 DAY STRENGTH SHALL BE 4,000 PSI (MIN)



**THE DUMPSTER MUST MATCH THE BUILDING CONSTRUCTION

CONSTRUCTION OF ENCLOSURE TO BE DONE PRIOR TO FINAL ACCEPTANCE OF THIS PROJECT

2 DUMPSTER ENCLOSURE NTS
CONCRETE 28 DAY STRENGTH SHALL BE 4,000 PSI (MIN)



DATE: 07-24-17
DRAWN: SF
CHECKED: RZ

C5.1
CITY OF APOPKA
STANDARD DETAILS

PROJECT NO.: 2017.45

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

ROBERT ZIEGENFUS, P.E., LEED AP
FL REG. # 56742

REVISION	DATE	REVISION	DATE

Z DEVELOPMENT
S e r v i c e s
CA 29354
708 E. COLONIAL DR., STE. 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

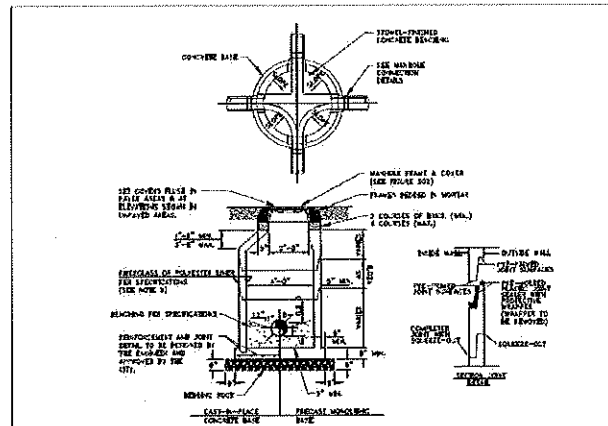
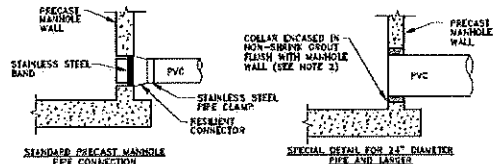
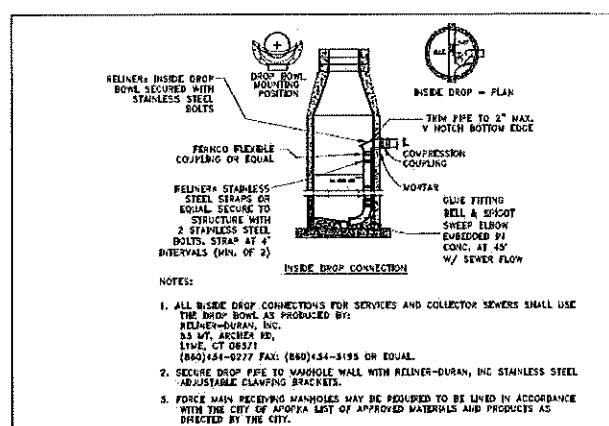


TABLE WITH 4 COLUMNS: DIAMETER (INCHES), HEIGHT (FEET), MATERIAL, MANUFACTURER. Rows include diameters 48, 60, and 72.

- NOTES:
- MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24". SEE SECTION 20.4 OF THE MANUAL FOR MANHOLE DIAMETER FOR SEWERS LARGER THAN 24".
 - DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
 - THE THICKNESS OF THE LINER SHALL BE 3/8" MINIMUM.
 - EACH BENCH SHALL BE A MINIMUM OF 18 INCHES LONG FROM THE WALL OF THE MANHOLE TOWARD THE CENTER.
 - SANITARY SEWER MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.

TYPICAL MANHOLE

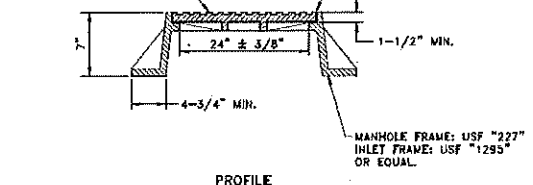
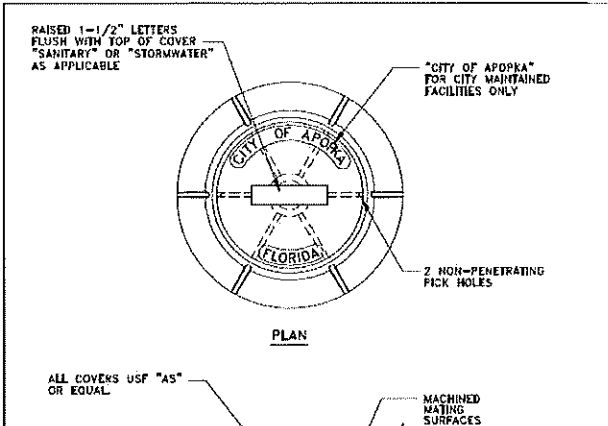
CITY OF APOPKA JANUARY 2015 FIG. 200



- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - THE CITY MAY APPROVE ALTERNATE WATER/TIGHT CONNECTION DETAILS FOR CONNECTION OF 24" EXAMETER PIPES AND LARGER.
 - ALL INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24" OR MORE ABOVE THE OUTFLOW PIPE INVERT.
 - CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

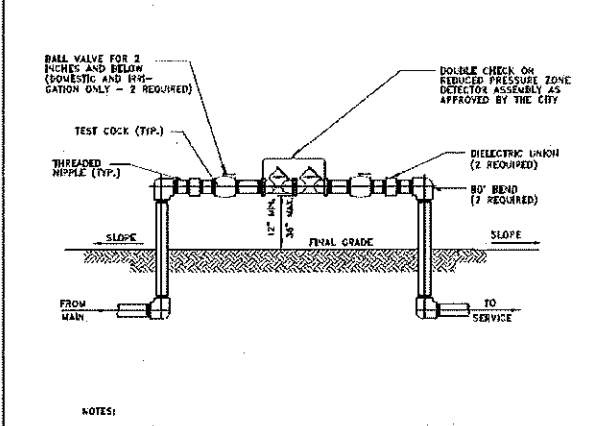
CITY OF APOPKA JANUARY 2015 FIG. 201



- NOTES:
- MANHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

STANDARD MANHOLE FRAME AND COVER

CITY OF APOPKA JANUARY 2014 FIG. 202

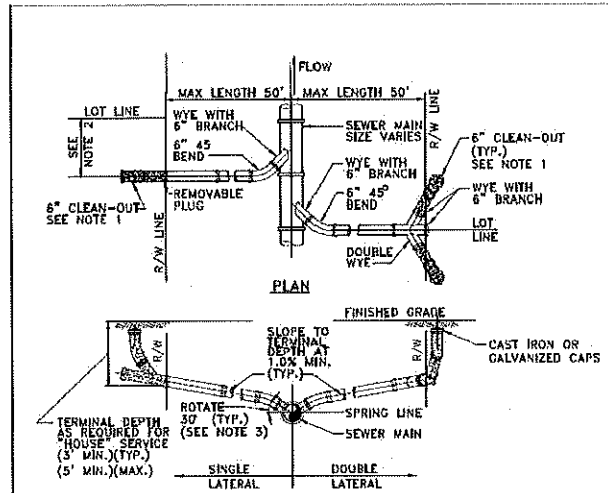


- NOTES:
- ALL PIPE FITTINGS, MATERIALS, LABOR, AND APPURTENANCES SHALL BE SUPPLIED BY THE CONTRACTOR.
 - ALL PIPE AND FITTINGS TWO (2) INCHES AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL.

DOUBLE CHECK OR REDUCED PRESSURE ZONE DETECTOR ASSEMBLY

2 INCH AND BELOW ASSEMBLY

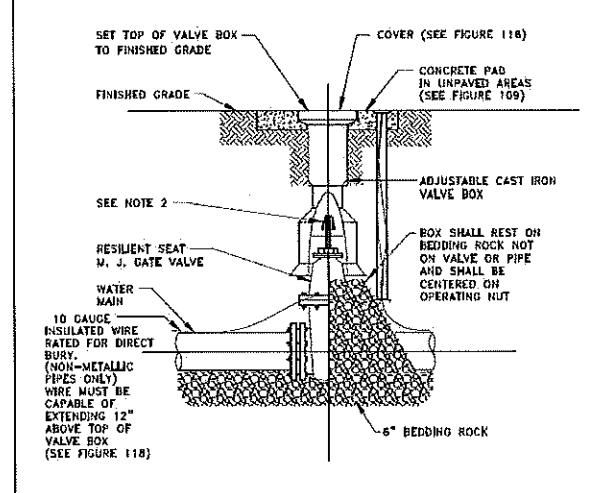
CITY OF APOPKA JANUARY 2014 FIG. 500 A



- NOTES:
- CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
 - GALVANIZED, OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
 - LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

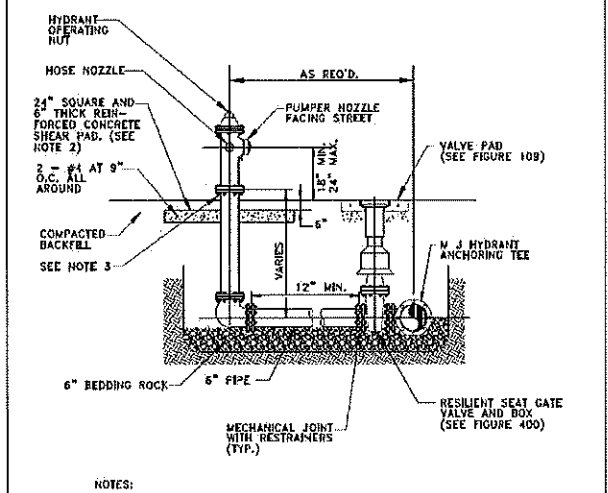
CITY OF APOPKA JANUARY 2014 FIG. 204



- NOTES:
- PVC EXTENSIONS MAY BE USED ON VALVE BOX INSTALLATION.
 - THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO WITHIN A 3 FEET BELOW FINISHED GRADE.

GATE VALVE AND BOX DETAIL

CITY OF APOPKA JANUARY 2014 FIG. 400



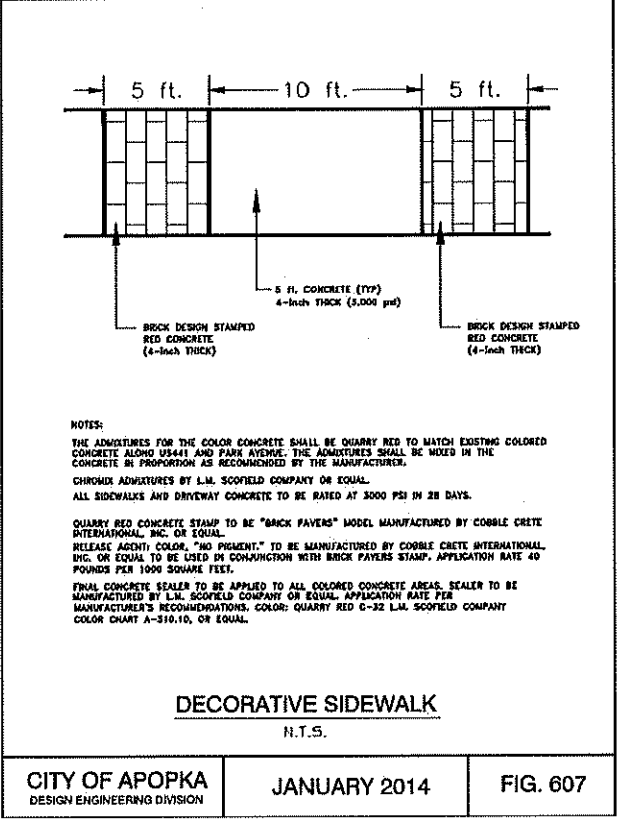
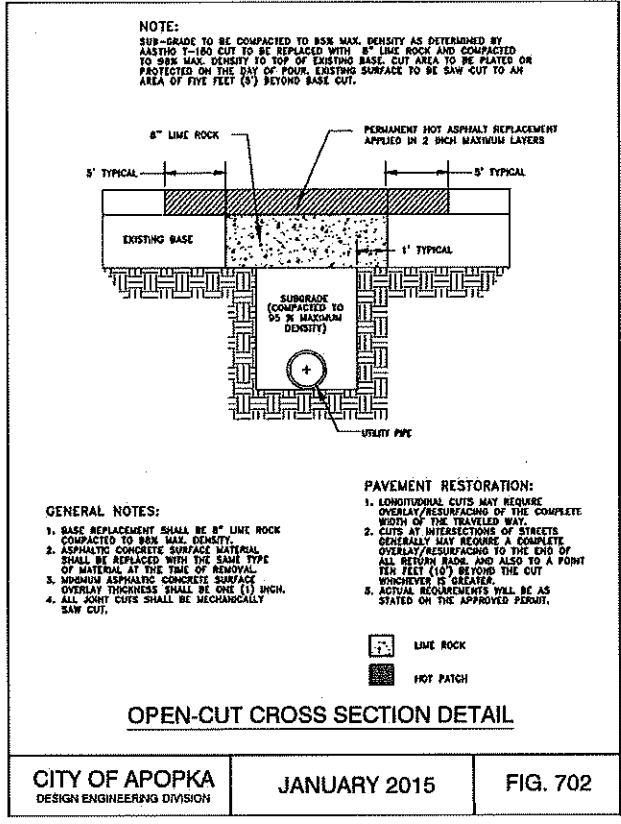
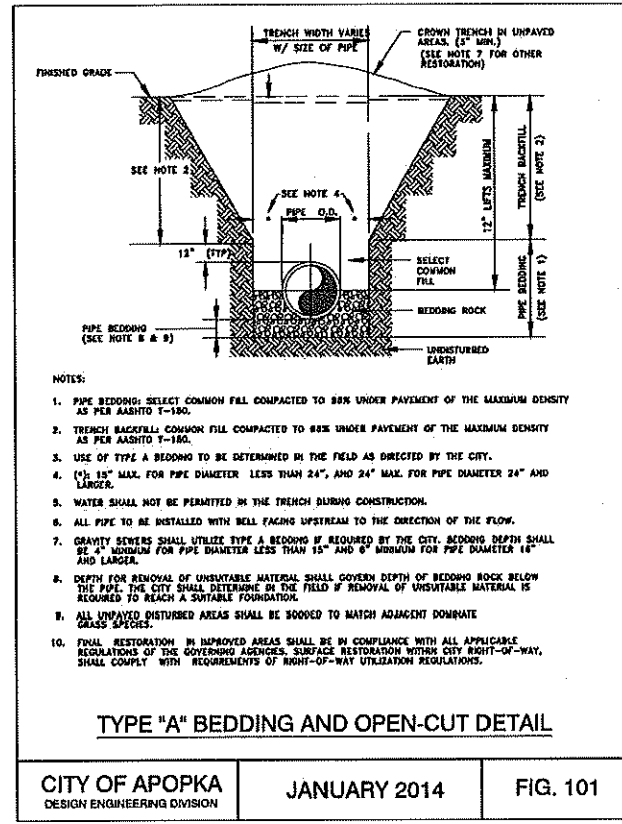
- NOTES:
- FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
 - THE SHEAR PAD SHALL BE RECESSED SIX (6) INCHES BELOW THE FINISHED GRADE AND THE RECESSED SECTION SLOBBED.
 - CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A TWELVE (12) INCH MINIMUM.
 - FIRE HYDRANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE CITY OF APOPKA UTILITIES DESIGN CONSTRUCTION STANDARDS MANUAL.

FIRE HYDRANT ASSEMBLY DETAIL

CITY OF APOPKA JANUARY 2014 FIG. 402

REVISION	DATE	REVISION	DATE

DOLLAR GENERAL STORE
 E. MICHAEL GLADDEN BLVD. &
 SOUTH PARK AVENUE
 APOPKA, FLORIDA 32703



Z DEVELOPMENT
s e r v i c e s
CA 29354
708 E. COLONIAL DR., STE. 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

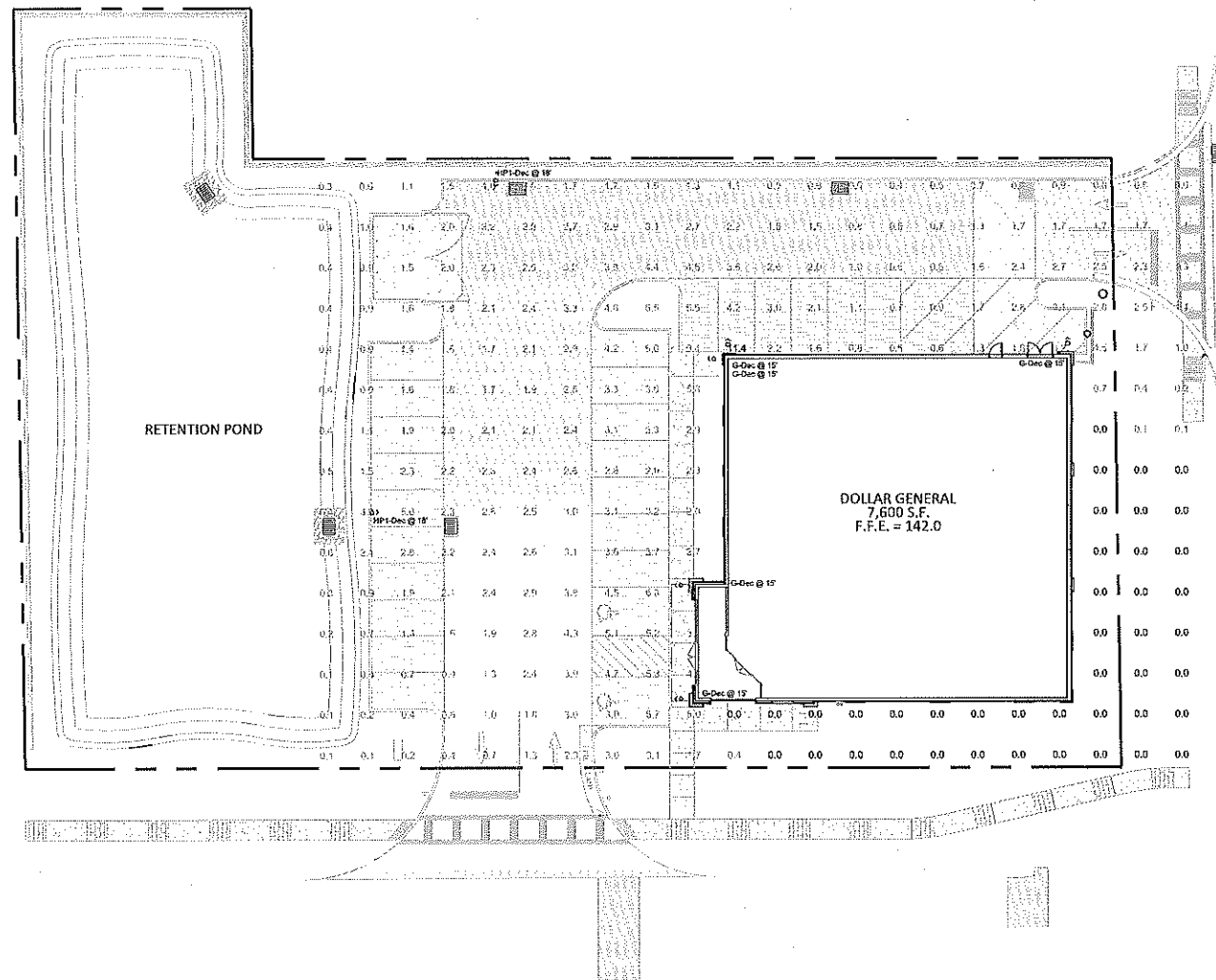
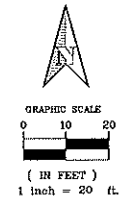
REVISION	DATE	REVISION	DATE
1	12-04-17		
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DATE: 07-28-17
DRAWN: SR
CHECKED: RZ

C6.1
CITY OF APOPKA
STANDARD DETAILS
PROJECT NO.: 2017.145

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

DOLLAR GENERAL APOPKA



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.6 fc	11.4 fc	0.0 fc	N/A	N/A

Luminaire Locations										
No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	G-Dec	492687.50	1575698.00	15.00	15.00	0.00	0.00	492687.50	1575700.00	0.00
2	G-Dec	492752.50	1575699.00	15.00	15.00	0.00	0.00	492752.50	1575701.00	0.00
3	G-Dec	492668.00	1575697.00	15.00	15.00	270.00	0.00	492668.00	1575697.00	0.00
4	G-Dec	492658.80	1575641.00	15.00	15.00	270.00	0.00	492658.80	1575641.00	0.00
5	G-Dec	492658.80	1575613.00	15.00	15.00	270.00	0.00	492658.80	1575613.00	0.00
1	HP1-Dec	492579.80	1575659.00	18.00	18.00	90.00	0.00	492581.80	1575659.00	0.00
2	HP1-Dec	492612.30	1575743.00	18.00	18.00	180.00	0.00	492612.30	1575741.00	0.00

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wallage
⤴ ○ .	HP1-Dec	2	U.S. ARCHITECTURAL LIGHTING	DSDP1-IV-64VLED-525mA-NW	FABRICATED METAL HOUSING, 1 LED MODULE CONSISTING OF: 64 LEDS, VERTICAL BASE-UP POSITION, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, CLEAR FLAT GLASS LENS.		64	DSDP1-4-64VLED-NW-525.lcs	135	0.9	103
⤴ ○ .	G-Dec	5	U.S. ARCHITECTURAL LIGHTING	DSDP1-IV-64VLED-525mA-NW	FABRICATED METAL HOUSING, 1 LED MODULE CONSISTING OF: 64 LEDS, VERTICAL BASE-UP POSITION, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, CLEAR FLAT GLASS LENS.		64	DSDP1-4-64VLED-NW-525.lcs	135	0.9	103

- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.

- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.

- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

- City of Apopka Notes:
- The base of all lamp posts shall be flush to the ground.
 - No lamp post shall be installed on a bollard or similar structure that extends above the surrounding grade.
 - Light pole footers cannot be exposed above finish grade.
 - Building entrances to be well lit.
 - Light poles should be at least two feet from the edge of any pavement.

Notes:

- Calculation at grade.
- Mounting height indicates height of head from ground, NOT WHERE FIXTURE IS ATTACHED TO THE BUILDING.
- Fences and other structures were not used in this calculation. Only the main building structure.
- Pole heights are the responsibility of the ordering party to identify.

BURIED UTILITIES NOTE

BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED ON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD SURVEY. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE. THESE ARE NOT SHOWN ON THE DRAWING. USE EXTREME CAUTION DURING EXCAVATION OPERATIONS AND CONTACT FLORIDA STATE UTILITIES SERVICE (FSUS) AT 1-800-452-4770 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.



CALL BEFORE YOU DIG...
1-800-452-4770
UTILITIES PROTECTION CENTER
IT'S THE LAW

DATE: 07-24-17
DRAWN:
CHECKED:
PROJECT NO.: 2017.145

Z DEVELOPMENT
e r v i c e s
CA 29354
708 E. COLONIAL DR., STE. 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

SOLID STATE AREA LIGHTING
DSDP SERIES-LED
SPECIFICATIONS

HOUSING: Upper housing is heavy gauge cast aluminum (DSDP25) or 0.125" thick spun aluminum with reveal (DSDP1). Lower housing is 0.090" thick spun aluminum with integrated LED module seal. Lower housing is vented at top and bottom for convective cooling of LED module. Top driver chamber is sealed from LED Module chamber. Torsion bolt coupling mount is welded to housing and locates quick leveling and installation.

LED OPTICAL MODULE: Low copper A356 alloy (<2% copper) cast aluminum housing. Integrated clear tempered 3/16" glass lens sealed with a continuous silicone gasket protects emitters (LED's) and emitter Reflector-Prism optics, and seals the module from water intrusion and environmental contaminants. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Each emitter is optically controlled by a Reflector-Prism injection molded from H12 acrylic (3 types per module; one from 0° - 50°, one from 50° - 65°, one from 65° - 72°). Each Reflector-Prism has indexing pins for aiming and is secured to an optical plate made of matte black anodized aluminum. The optical plate locates every Reflector-Prism over an emitter. Reflector-Prisms are secured to the optical plate with UV curing adhesive. The Reflector-Prisms are arrayed to produce LED Type K, L, N and V50 distributions. The entire Optical Module is held rotatable in 90° increments. Each module and drivers are factory wired using water resistant, braided cord. Lens, module and drivers are field replaceable.

LED EMITTERS: High Output LED's are driven of 350mA for nominal 1 Watt output each or 525mA for nominal 1.5 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

LED DRIVER: UL and CUL recognized High Power Factor, Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60Hz. Consult Factory for 347-400VAC. Driver is mechanically fastened in a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

FINISH: Electrostatically applied IGC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step zinc phosphate pretreatment for protection and paint adhesion. 400°F bolts for maximum hardness and durability. Textured finish is standard.

PROJECT NAME: _____
FEATURE TYPE: _____



DSDP25



DSDP1

U.S. ARCHITECTURAL LIGHTING
2013232

DSDP SERIES - LED

SPECIFICATIONS

MOUNTING STYLES

WALL MOUNT

WALL PLATE

LED MODULES

FEATURE	A	B	C
DSDP25	10.5"	3.5"	2.5"
DSDP1	10.5"	3.5"	2.5"

MAX INPUT WATTAGE

# OF 500V CURRENT	300mA	525mA
1	1.5W	2.25W
2	3.0W	4.5W
3	4.5W	6.75W
4	6.0W	9.0W
5	7.5W	11.25W
6	9.0W	13.5W
7	10.5W	15.75W
8	12.0W	18.0W
9	13.5W	20.25W
10	15.0W	22.5W

ORDERING INFORMATION					
LUMINAIRE	OPTICS	LED	MOUNTING	FINISH	OPTIONS
<input type="checkbox"/> DSDP25 <input type="checkbox"/> DSDP1	<input type="checkbox"/> LED-V... <input type="checkbox"/> LED-R... <input type="checkbox"/> LED-W... <input type="checkbox"/> LED-V50	<input type="checkbox"/> 350mA <input type="checkbox"/> 525mA <input type="checkbox"/> 350mA <input type="checkbox"/> 525mA <input type="checkbox"/> 350mA <input type="checkbox"/> 525mA	<input type="checkbox"/> WALL MOUNT <input type="checkbox"/> WALL PLATE	<input type="checkbox"/> BLACK <input type="checkbox"/> WHITE <input type="checkbox"/> LIGHT GRAY <input type="checkbox"/> DARK GRAY <input type="checkbox"/> GREEN <input type="checkbox"/> RED	<input type="checkbox"/> 100% BRIGHTNESS <input type="checkbox"/> 100% DIMMING <input type="checkbox"/> 100% HIGH-LOW <input type="checkbox"/> 100% SURGE PROTECTION <input type="checkbox"/> 100% DIMMING <input type="checkbox"/> 100% HIGH-LOW <input type="checkbox"/> 100% SURGE PROTECTION

U.S. ARCHITECTURAL LIGHTING
U.S. ARCHITECTURAL LIGHTING

SNTS 4"
Square Straight Steel

Specifications

Shall - 4" square fabricated from high grade structural steel tube. Shall conform to ASTM A601-04 specifications. Meets or exceeds minimum yield strength of 45,000 PSI. Wall thickness 11 GA. (1.20 wall) or 7 GA. (1.60 wall) as specified. Reinforced hand hole is finished with cover. Shall be furnished with ground lug located inside pole on wall opposite hand hole.

Base Plate - Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 30,000 PSI. Base telescopes and is circularly cut and welded to pole shaft. Slotted bolt holes provide 1" flexibility on either side of bolt circle centerline.

Anchorage - (4) anchor bolts fabricated from hot rolled steel bar. Minimum yield strength of 50,000 PSI. Bolts have 1" bend on one end and are threaded on the other. Bolts are fully galvanized and are furnished with two nuts and two washers.

Base Cover - Fabricated from heavy gauge quality carbon steel. Two piece cover covers base.

Finish - Electrostatically applied IGC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step zinc phosphate pretreatment for protection and paint adhesion. 400°F bolts for maximum hardness and durability.

Pole Top Mount
PT25 - 2x7/8" Ironon
PT27 - 2x7/8" Ironon

Hand Hole Cover
Reinforced hand hole with tamper resistant bolt assembly

Handing worked bracket
locking bar
Hand hole cover
tamper resistant bolt

XPK

DURABLE CORROSION RESISTANT, CAST AND EXTRUDED ALUMINUM CONSTRUCTION.

USA ARCHITECTURAL LIGHTING
16187 ROAD 5, PALM BEACH, FL 33411
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FAX: (407) 442-0604

DATE	REVISION

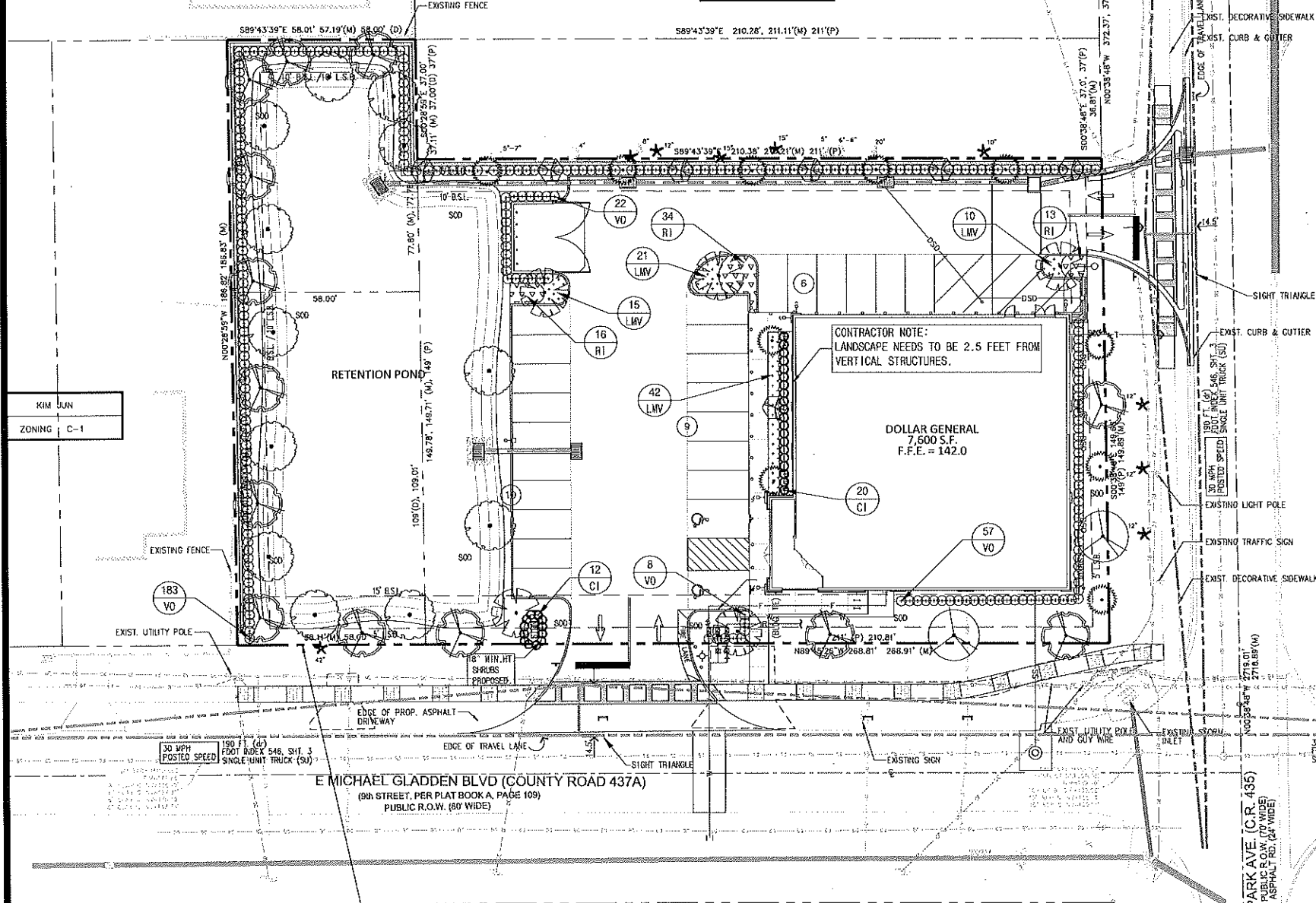
REVISION

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

DATE: 07-24-17
DRAWN:
CHECKED:
C8
PHOTOMETRICS DETAILS
PROJECT NO.: 2017.145

JURISDICTIONAL NOTES: ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED. (INCLUDING BACK OF BUILDING) TREES MEASURED AT DIAMETER AT BREAST HEIGHT (D.B.H.) HEDGE ROW SHALL BE PLACED TO THE REAR OF THE 10 F.T. LANDSCAPE BUFFER. MULCH SHOULD NOT EXTEND BEYOND DRIP LINE OF THE PLANTS AND TREES.

KANGAROO EXPRESS
ZONING: C-1

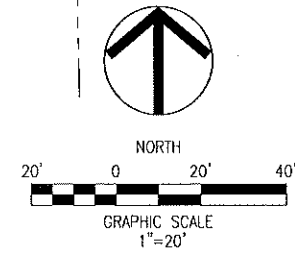


CONTRACTOR NOTE:
LANDSCAPE NEEDS TO BE 2.5 FEET FROM VERTICAL STRUCTURES.

DOLLAR GENERAL
7,500 S.F.
F.F.E. = 142.0

BUFFER YARD CALCULATIONS:
3.5 INCHES DBH PER 1,000 SQUARE FT. OF AREA.
BUFFER YARD TOTAL 5,552 SQ.FT.
5,552 / 1000 = 5.552 X 3.5" = 20 TREES X 3.5" = 70" TOTAL REQUIRED.
27 PROPOSED BUFFER CANOPY TREES @ 2.5" = 67.5"
14 PROPOSED BUFFER UNDERSTORY TREES @ 1" = 14"
67.5 + 14" = 81.5" TOTAL PROPOSED. REQUIREMENT MET.

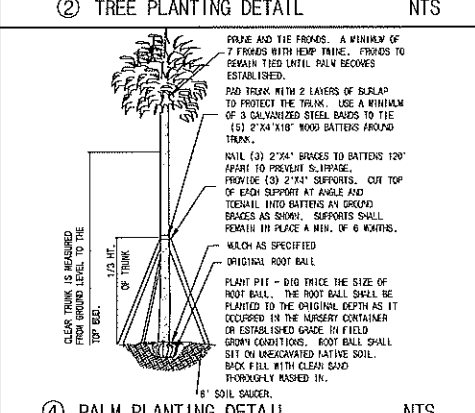
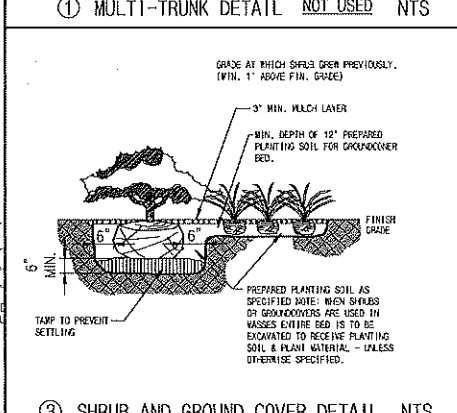
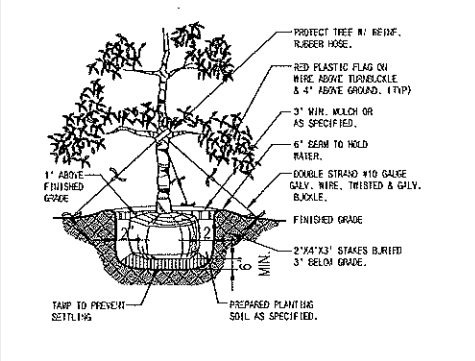
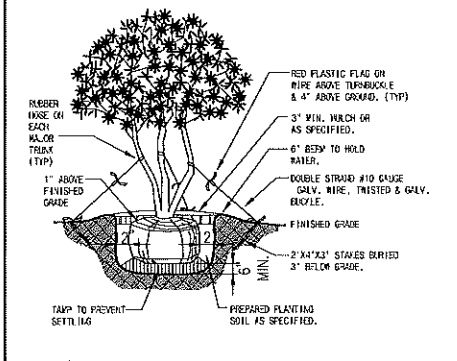
LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.



PLANT LIST

SYMBOL	BOTANICAL NAME (COMMON NAME)	MINIMUM SIZE/SPACING	DROUGHT TOLERANCE	NATIVE FLORIDA	QUANTITY
MG	MAGNOLIA GRANDIFLORA (SOUTHERN MAGNOLIA)	14" MIN. HT., 2.5" DBH, 4" MIN. CLEAR TRUNK ABOVE GROUND.	YES	YES	5
ID	TAXODIUM DISTICHUM (BALD CYPRESS)	14" MIN. HT., 2.5" DBH, 6" MIN. CLEAR TRUNK ABOVE GROUND.	YES	YES	12
OV	QUERCUS VIRGINIANA (LIVE OAK)	14" MIN. HT., 2.5" DBH, 6" MIN. CLEAR TRUNK ABOVE GROUND.	YES	YES	2
LS	LIQUIDAMBAR STYRACIFLUA (AMERICAN SWEETGUM)	14" MIN. HT., 2.5" DBH, 6" MIN. CLEAR TRUNK ABOVE GROUND.	YES	YES	13
IV	ILEX VOMITORIA (YAWPOH HOLLY)	5" MIN. HT., 1" CAL., 3" MIN. SPREAD.	YES	NO	10
LI	LAGERSTROMIA INDICA (CREPE MYRTLE)	6" MIN. HT., 1" CAL., 3" MIN. SPREAD SINGLE TRUNK.	YES	YES	7
LWV	LIRIOPE MUSCARI (VARIATED LIRIOPE)	12"-14" MIN. HT., 1 GAL., 24" O.C.	YES	NO	88
RI	RAPIHOLEPIS INDICA (INDIAN BARTHORNE)	12" MIN. HT., 3 GAL., 24" O.C.	YES	NO	63
CI	CHRYSOBALANUS (COCO 'RED TIP' (RED TIP COCOPLUM)	18" MIN. HT., 18" SPREAD 3 GAL., 30" O.C.	YES	YES	32
VO	VIBURNUM DOORATISSIMUM (SWEET VIBURNUM)	24" MIN. HT., 24" SPREAD 3 GAL., 30" O.C.	YES	NO	270
SOD	BAHIA	QUANTITY TO BE CALCULATED BY CONTRACTOR	YES	YES	

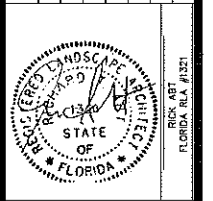
NOTE: WHERE GALLON REFERENCES MAY CONFLICT WITH HEIGHT/SPREAD AND CALIPER MEASUREMENTS, THE HEIGHT/SPREAD AND CALIPER MEASUREMENTS SHALL GOVERN.



- GENERAL LANDSCAPE NOTES**
- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1963 AND PART II, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
 - ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS," OCTOBER, 1980.
 - THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, ILL.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
 - ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE PREPARED ACCORDINGLY TO EXISTING SOIL, 1:3 PEAT.
 - THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRAINAGE THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AID DRAINAGE.
 - ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH THREE INCHES (3") OF SHREDDED COMPOSTED MULCH.
 - NO TREES SHALL BE PLANTED CLOSER THAN 3 FEET (3') FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
 - LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL.
 - ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
 - SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED, WITH TIGHT FITTING JOINTS. THE SOD SHALL CONTAIN MOIST SOIL WHICH DOES NOT FALL APART OR TEAR WHEN LIFTED. ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE SOEDED. SOD SHALL BE BAHIA GRASS OR SOEAL.
 - ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, WITH 100% COVERAGE, BACKFLOW PREVENTOR, & RAIN SENSOR DEVICE.
 - DIRECT SPRAY HEADS AWAY FROM ANY NATURAL AREAS AND PAVED SURFACES.
 - THE TREE CALIPER OF ALL CANOPY TREES SPECIFIED ON THE PLANT LIST SHALL BE MEASURED AT SIX (6) INCHES ABOVE GRADE.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC. WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.

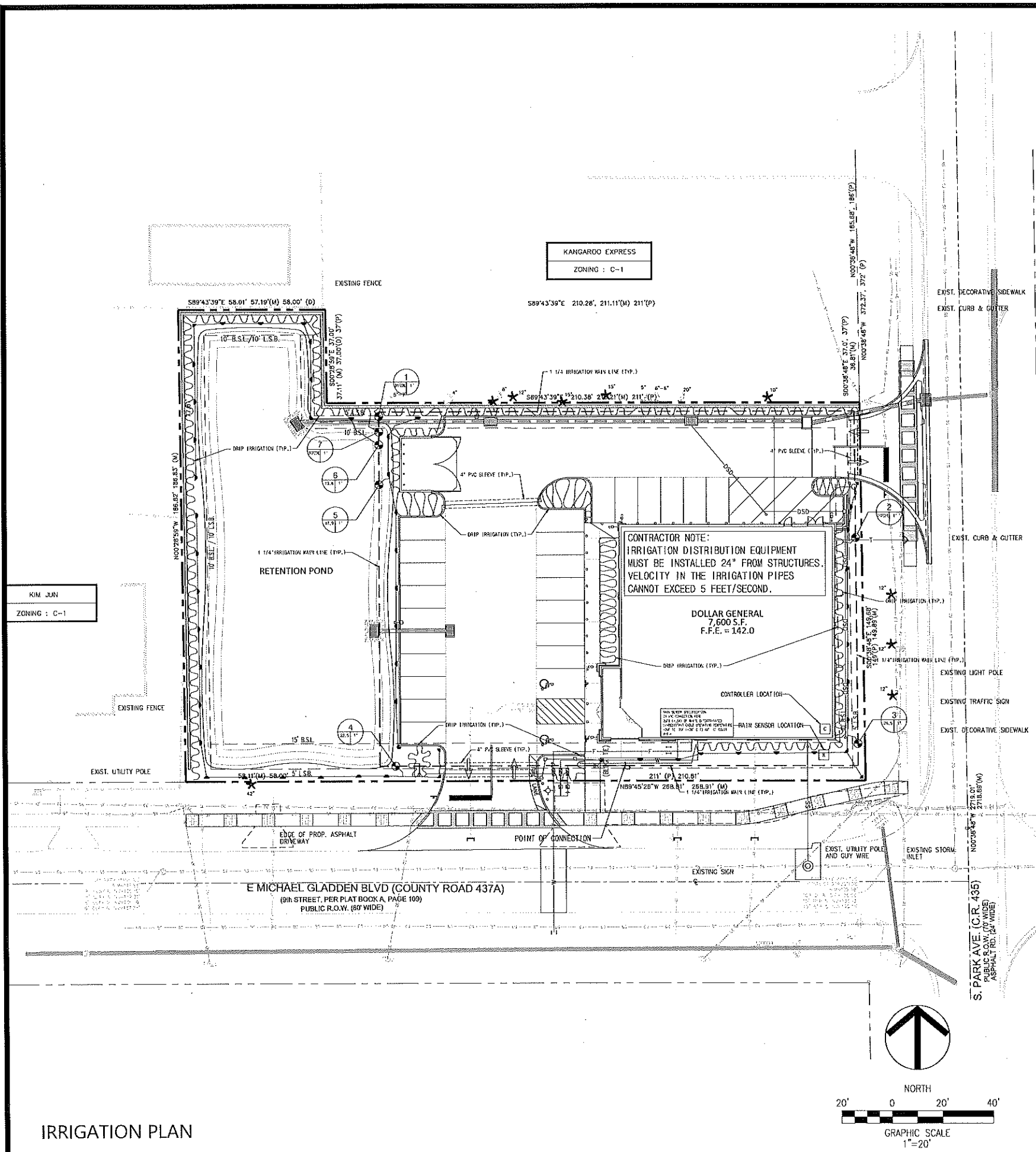
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DATE	REVISION



DOLLAR GENERAL STORE & E. MICHAEL GLADDEN BLVD. & SOUTH PARK AVENUE APOPKA, FLORIDA 32703

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IRRIGATION NOTES:
LANDSCAPE CONTRACTOR IS TO PROVIDE AN ENTIRE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANT AND GRASSED AREAS WITH HEAD TO HEAD SPACING OF SPRAY HEADS. PROVIDE ALL ITEMS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM TO INCLUDE, BUT NOT LIMITED TO CONTROLLER, VALVES, PIPING, HEADS, RISERS, BACKFLOW PREVENTER, METER, WIRING, ELECTRICAL SUPPLY. PROVIDE AS-BUILT DRAWINGS UPON COMPLETION AND PRIOR TO FINAL PAYMENT. PROVIDE A RAIN SENSOR IN A CONSPICUOUS LOCATION OPEN TO RAINFALL. COORDINATE ALL WORK AND SLEEVE LOCATIONS WITH GENERAL CONTRACTOR. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR OWNER/ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR IS TO PROVIDE AND INSTALL A SEPARATE WATER METER FOR IRRIGATION PURPOSES. LANDSCAPE CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED FOR THE INSTALLATION OF THE IRRIGATION SYSTEM.

IRRIGATION LEGEND

○	FULL 6" POP-UP SPRAY HEAD	570-8-F
○	1/4 6" POP-UP SPRAY HEAD	570-8-Q
○	1/2 6" POP-UP SPRAY HEAD	570-8-H
○	1/3 6" POP-UP SPRAY HEAD	570-8-T
○	2/3 6" POP-UP SPRAY HEAD	570-8-TT
○	3/4 6" POP-UP SPRAY HEAD	570-8-TQ
●	FULL 6" POP-UP SPRAY HEAD	570-15-F
●	1/4 6" POP-UP SPRAY HEAD	570-15-Q
●	1/2 6" POP-UP SPRAY HEAD	570-15-H
●	1/3 6" POP-UP SPRAY HEAD	570-15-T
●	2/3 6" POP-UP SPRAY HEAD	570-15-TT
●	3/4 6" POP-UP SPRAY HEAD	570-15-TQ
□	CENTER STRIP SPRAY HEAD	570-4-CST
■	SIDE STRIP SPRAY HEAD	570-4-CST
■	END STRIP SPRAY HEAD	570-4-EST
■	END STRIP SPRAY HEAD	570-15-ADJ

○ DENOTES VARIABLE 6" POP-UP
▲ POP-UP STREAM ROTOR
* 500 SERIES STREAM BUBBLER
● TORO PLASTIC VALVE
● TORO PLASTIC VALVE WITH PRESSURE REGULATOR AND FILTER (DRIP IRRIGATION)

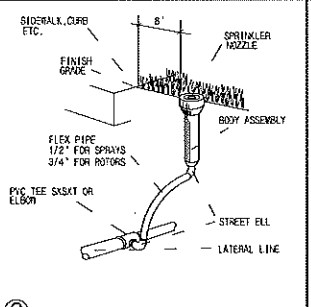
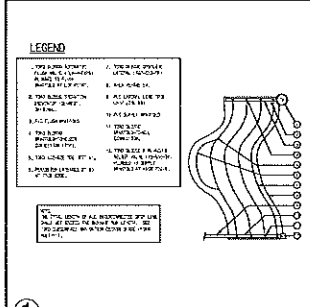
--- CLASS 200 PVC MAIN LINE
--- CLASS 160 PVC LATERAL LINE
--- PVC SLEEVE 4" IN DIAMETER
--- PIPE CROSSOVER

--- BACKFLOW PREVENTER
--- IRRIGATION METER
--- CONTROLLER LOCATION
--- RAIN SENSOR LOCATION

VALVES

● 254-06-03 3/4" VALVES
● 252-06-04 1" VALVES
● 252-25-06 1.5" VALVES

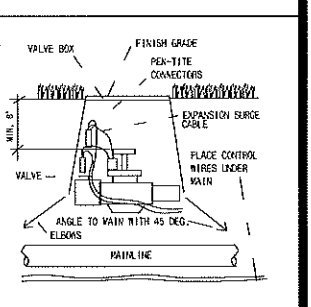
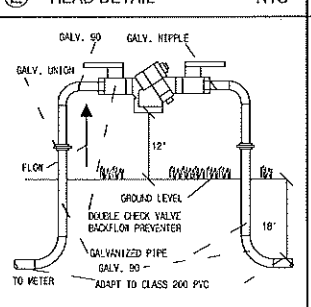
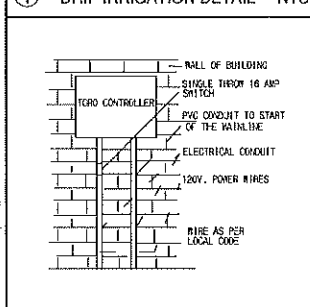
NOTE: MODEL NOS. SHOWN REFLECT TORO SPRINKLER HEADS. ANY HEADS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER. CONTRACTOR TO SIZE ALL LATERAL LINES AND INSURE THE PERFORMANCE OF ALL HEADS.



NOTE: LANDSCAPING AND IRRIGATION PLANS SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE, 2069."

"IRRIGATION RISERS ARE NOT ALLOWED."

RAIN SENSOR SPECIFICATION
24" PVC CONDUIT PIPE
25FT (7.6M) OF WHITE OUTDOOR-PAINTED, UV-RESISTANT COULE DRIVING TAMPDOWN
-50# TO 100# 1-2" O.D. 1/2" O.C. COLOR WHITE



JURISDICTIONAL NOTES: ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED. (INCLUDING BACK OF BUILDING) TREES MEASURED AT DIAMETER AT BREAST HEIGHT (D.B.H.) HEDGE ROW SHALL BE PLACED TO THE REAR OF THE 10 F.T. LANDSCAPE BUFFER. MULCH SHOULD NOT EXTEND BEYOND DRIP LINE OF THE PLANTS AND TREES.

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

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REVISION	DATE	REVISION	DATE

PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF FLORIDA
RICK ABY
FLORIDA R.L.A. #321

DOLLAR GENERAL STORE
E. MICHAEL GLADDEN BLVD. &
SOUTH PARK AVENUE
APOPKA, FLORIDA 32703

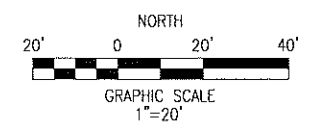
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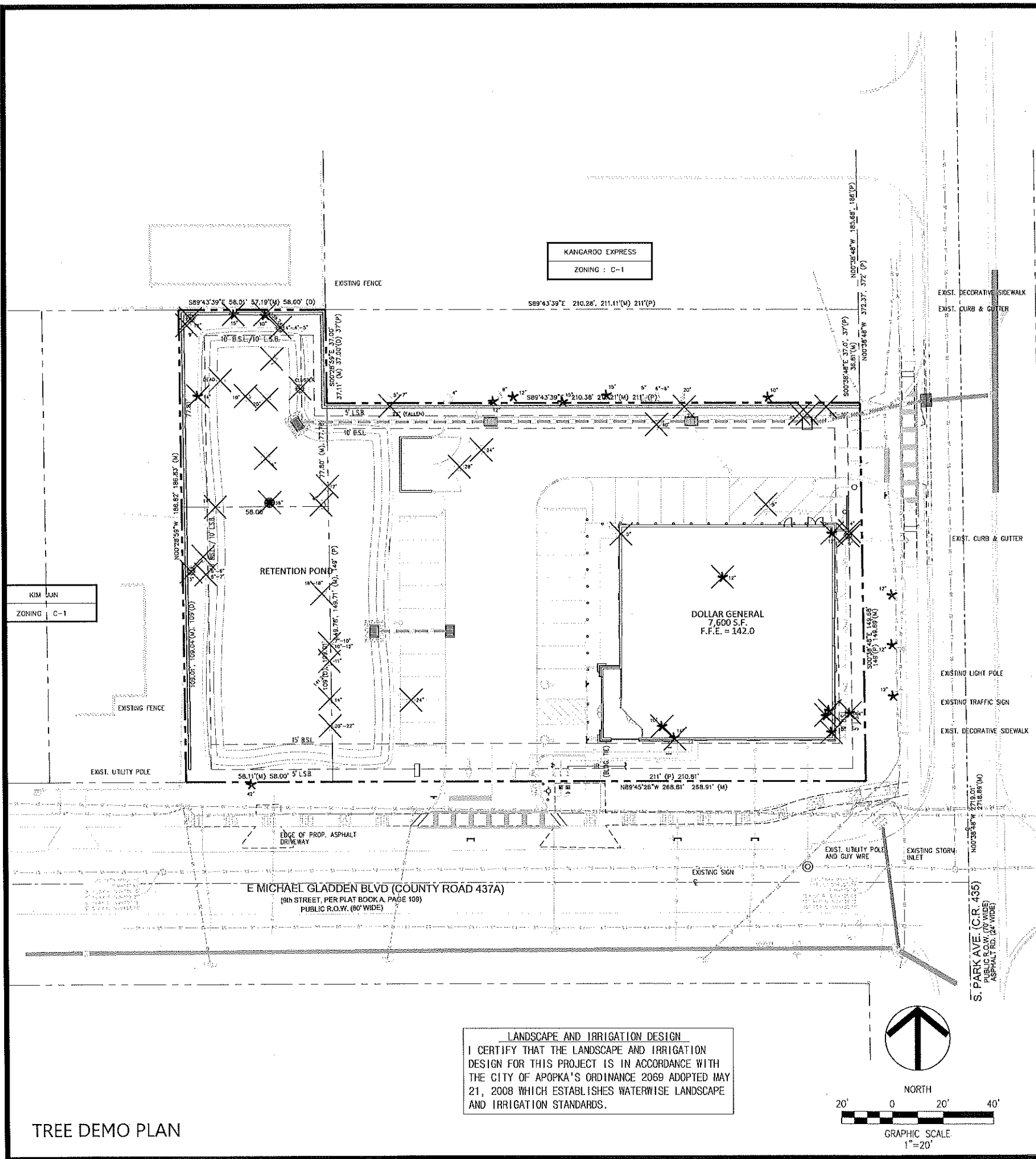
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RICK ABY
252 KINGS HWY.
DECATUR, GA 30030
404-999-2736

PROJECT NO.: 2017.145

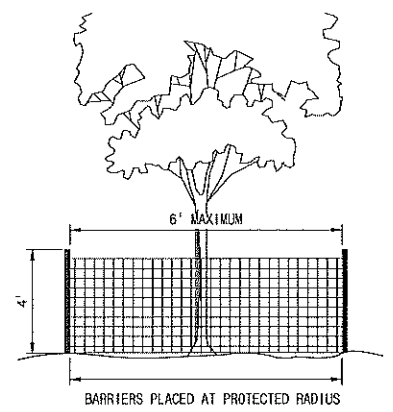
IRRIGATION PLAN



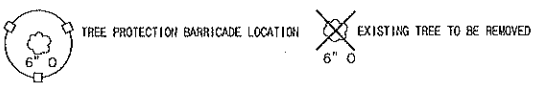


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TREE DEMO PLAN



- ### TREE PROTECTION NOTES
- DURING CONSTRUCTION, PROTECTIVE BARRIERS SHALL BE PLACED BY SITE CONTRACTOR TO PREVENT DESTRUCTION OF TREES WHICH ARE DESIGNATED TO REMAIN. PROTECTION BARRIERS SHALL BE ERECTED PRIOR TO CONSTRUCTION OF ANY KIND ON THE SITE.
 - BARRIERS SHALL CONSIST OF PROTECTIVE WOODEN POSTS TWO (2) INCHES BY FOUR (4) INCHES OR LARGER PLANTED IN SUFFICIENT DEPTH TO BE STABLE WITH AT LEAST FOUR (4) FEET OF POST VISIBLE ABOVE THE GROUND. POSTS SHALL BE PLACED NO CLOSER THAN FIVE (5) FEET TO THE TRUNK UNLESS PROPOSED PAVING CONSTRUCTION WILL NOT PERMIT. POSTS SHALL BE NO FURTHER THAN SIX (6) FEET APART. REFER TO TREE PROTECTION BARRIER DETAIL. EACH SECTION SHALL BE LINKED TOGETHER WITH ORANGE POLYPROPYLENE NET FENCE MATERIAL.
 - PROPOSED GRADES AROUND TREES TO REMAIN SHALL BE MAINTAINED TO WITHIN FOUR (4) INCHES OF THE EXISTING GRADE.
 - THE CONTRACTOR SHALL FOLLOW TREE REMOVAL, TREE PROTECTION AND GENERAL PLANTING REITS, AS DEFINED BY LOCAL JURISDICTION.
 - PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE AND ALL EQUIPMENT IS REMOVED FROM SITE.
 - NO BUILDING MATERIALS SUCH AS MACHINERY OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE PROTECTIVE BARRIER ZONES.
 - BARRIERS SHALL BE PLACED AT THE TREE CANOPY LINE EXCEPT ADJACENT TO THE PROPERTY CONSTRUCTION AREA WHERE IT MAY BE AT ONE HALF OF THE CANOPY DISTANCE ON ONE SIDE ONLY.



① TREE BARRIER DETAIL NTS

EXISTING TREES TO BE REMOVED

TREE SIZE	TOTAL # OF TREES	TOTAL INCHES
4 INCH - OAK	1	4"
5 INCH - OAK	1	5"
6 INCH - OAK	4	24"
7 INCH - OAK	2	14"
9 INCH - OAK	2	18"
10 INCH - OAK	5	50"
11 INCH - OAK	1	11"
14 INCH - OAK	3	42"
18 INCH - OAK	1	18"
20 INCH - OAK	2	40"
24 INCH - OAK	3	72"
28 INCH - OAK	1	28"
30 INCH - OAK	1	30"
40 INCH - OAK	1	40"
36 INCH - CHAMPER	1	N/A
3 INCH - CHINA-B	1	N/A
4 INCH - CHINA-B	1	N/A
12 INCH - CHINA-B	1	N/A
9 INCH - PALM	1	N/A
10 INCH - PALM	3	N/A
12 INCH - PALM	4	N/A
14 INCH - PALM	3	N/A
15 INCH - PALM	1	N/A

GRAND TOTAL TREES TO BE REMOVED = 44 396"
 TOTAL TREE INCHES ON-SITE = 396"
 TOTAL NUMBER OF SPECIMEN TREES ON-SITE = 6
 TOTAL NUMBER OF SPECIMEN TREES REMOVED = 6
 TOTAL NUMBER OF SPECIMEN TREE INCHES RETAINED = 0"
 TOTAL NUMBER OF SPECIMEN TREE INCHES REMOVED = 170"
 TOTAL NUMBER OF NON-SPECIMEN TREE INCHES REMOVED = 226"
 TOTAL NUMBER OF NON-SPECIMEN TREE INCHES RETAINED = 0"
 TOTAL NUMBER OF TREE INCHES RETAINED = 0"
 TOTAL NUMBER OF TREE INCHES REMOVED = 396"
 396" TOTAL INCHES REMOVED - 0" RETAINED = 396"
 PROPOSED TREES 2.5" X 32 = 80" / 1.0" X 17 = 17" / 80" + 17" = 97"

EXISTING TREE LEGEND

- TREE CAMPHOR
- TREE CHINA BERRY
- TREE LIVE OAK
- TREE PALM

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REVISION	DATE	REVISION	DATE

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L3

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LEGAL DESCRIPTION:

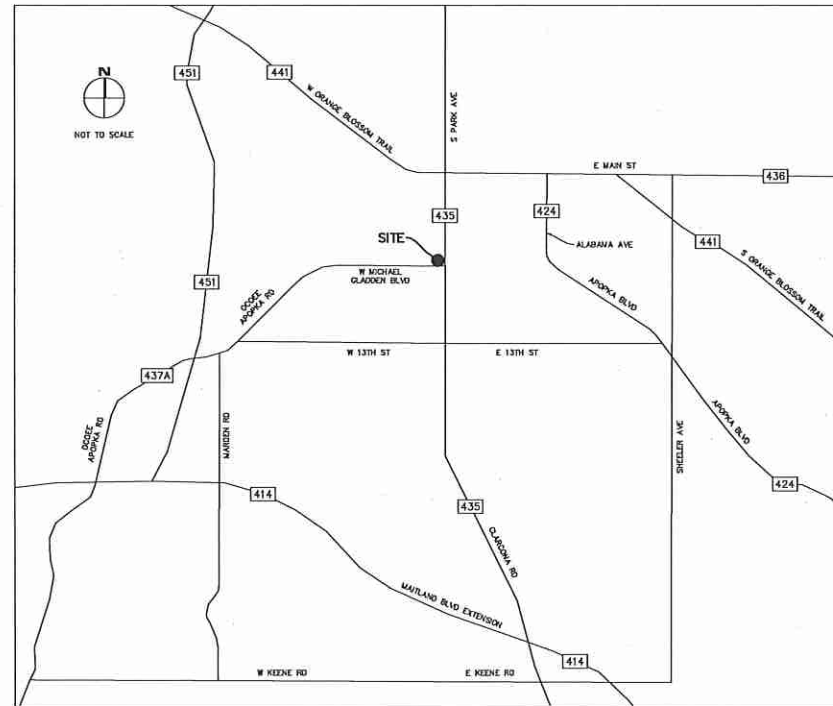
PARCEL 1
(PER FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NO. 6223990):
THE EAST 58 FEET OF LOT 51, LESS THE SOUTH 109 FEET, BLOCK H, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "A", PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2
(PER FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NO. 6178615):
THE EAST 58 FEET OF THE SOUTH 109 FEET OF LOT 51, BLOCK H, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "A", PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3
(PER FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT FILE NO. 12655-2404744):
LOT 52, LESS THE NORTH 37 FEET, BLOCK H, THE TOWN OF APOPKA, A SUBDIVISION ACCORDING TO THE PLAT OF MAP THEREOF DESCRIBED IN PLAT BOOK "A", AT PAGE(S) 109, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCELS 1, 2 AND 3 TOGETHER CONTAINING 42,364 SQUARE FEET, OR 0.97 ACRES, MORE OR LESS.

VICINITY MAP:



SYMBOL AND ABBREVIATION LEGEND:

☉ CONCRETE LIGHT POLE	N NORTH/NORTHING
→ GUY WIRE	S SOUTH
⊕ WOODEN POWER POLE	E EAST/EASTING
⊖ SINGLE STAND SIGN	W W
⚠ NATURAL GAS MARKER	BVD/BLVD BOULEVARD
⊕ NATURAL GAS METER	RD ROAD
⊕ STORM DRAINAGE CATCH BASIN	ST STREET
⊕ FOUND BRASS OR ALUMINUM DISK	RLS REGISTERED LICENSED SURVEYOR
⊕ FOUND CONCRETE MONUMENT	LB LICENSED BUSINESS
⊕ FOUND IRON PIPE	LS LICENSED SURVEYOR
⊕ FOUND IRON ROD	ID IDENTIFICATION
⊕ FOUND NAIL & DISK	ELEV ELEVATION
⊕ SET IRON ROD	(D) DEED/DESCRIPTION
⊕ SET TRAVERSE POINT OR BENCHMARK	(M) FIELD MEASUREMENT
⊕ TELECOMMUNICATION RISER	(P) PLAT
⊕ TREE CAMPHOR	TRAV TRAVERSE
⊕ TREE CHINA BERRY	PT POINT
⊕ TREE LIVE OAK	RCP REINFORCED CONCRETE PIPE
⊕ TREE PALM	INV INVERT ELEVATION
⊕ FIRE HYDRANT	LS LICENSED SURVEYOR
⊕ WATER METER	L&S L & S DIVERSIFIED, LLC
⊕ WATER VALVE	CONTOUR
⊕ SOIL BORING	SPOT ELEVATION
⊕ BURIED ELECTRICAL	FENCE LINE
⊕ BURIED GAS	OVERHEAD ELECTRICAL LINE
⊕ BURIED SANITARY SEWER	DRAINAGE PIPE
⊕ BURIED TELECOMMUNICATION	BUILDING LINE
⊕ BURIED UNKNOWN	EDGE OF PAVEMENT
⊕ BURIED WATER	CENTERLINE

EXCEPTIONS TO TITLE:

FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NO. 6223990 (PARCEL 1)
SECTION B SECTION II (EXCEPTIONS):

4. THE PUBLIC RECORDS DO NOT SHOW ANY MEANS OF INGRESS OR EGRESS TO OR FROM THE LAND DESCRIBED IN SCHEDULE A AND, BY REASON THEREOF, THIS POLICY DOES NOT, AND WILL NOT, INSURE ANY RIGHT OF ACCESS TO AND FROM THE LAND. AFFECTS SUBJECT PROPERTY AND IS NOTED ON THE SURVEY.

5. SUBJECT TO MATTERS AS SET FORTH ON THE PLAT OF TOWN OF APOPKA RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS SUBJECT PROPERTY AS SHOWN HEREON.

FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NO. 6178615 (PARCEL 2)
SECTION B SECTION II (EXCEPTIONS):

4. SUBJECT TO MATTERS AS SET FORTH ON THE PLAT OF TOWN OF APOPKA RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS SUBJECT PROPERTY AS SHOWN HEREON.

FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT FILE NO. 12655-2404744 (PARCEL 3)
SECTION B SECTION II (EXCEPTIONS):

9. SUBJECT TO THE RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF TOWN OF APOPKA RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS SUBJECT PROPERTY AS SHOWN HEREON.

SURVEY NOTES:

- THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DESCRIBED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY IS LIMITED TO: (1) THE DOCUMENTATION OF THE PERIMETER OF THE PARCELS OF LAND SHOWN HEREON BY MONUMENTING THE BOUNDARY LINES FOR THE PURPOSE OF DESCRIBING SAID PARCELS, (2) THE LOCATION OF SURFACE IMPROVEMENTS, (3) SPOT ELEVATIONS AND CONTOURS, (4) TREE SURVEY, (5) STORM DRAINAGE AND SANITARY SEWER AS-BUILT, (6) SUB-SURFACE UTILITIES AS MARKED BY L & S DIVERSIFIED, LLC (L&S).
- THE SURVEYED PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 0.97 ACRES (42,364 SQUARE FEET) MORE OR LESS.
- BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF THE NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 16-21-28 AS HAVING AN ASSUMED BEARING OF NORTH 00°38'48" WEST.
- THE ELEVATIONS SHOWN HEREON ARE BASED UPON ORANGE COUNTY BENCHMARK STAMPED L-653-002, HAVING A PUBLISHED ELEVATION OF 131.081', NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X, ACCORDING TO FEMA FLOOD RATE INSURANCE MAP NUMBER 12095C0120 F, DATED SEPT. 25, 2009.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
- THIS FIRM IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 3 CALIPER INCHES OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.
- ORNAMENTAL PLANTS, HEDGES, SPRINKLER HEADS WERE NOT LOCATED.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY & SUB SURFACE UTILITIES AS MARKED BY L&S. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION EXCAVATIONS, CONTACT 811.COM (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES. SOME OF THE UTILITIES SHOWN HEREON ARE FROM UTILITY MAPS PROVIDED BY THE UTILITY PROVIDERS.
- L & S DIVERSIFIED, LLC DID NOT SEARCH THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYORS CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
- THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1 INCH=20 FEET
- THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE SEPARATE DESCRIPTIONS OF THE 3 PARCELS SHOWN HEREON, WHEN TAKEN AS A WHOLE, FORMS A SINGLE PARCEL OF LAND WITH NO GORES, GAPS, OVERLAPS OR HAIUSES. PARCEL 1 APPEARS TO BE ENCLOSED, THERE IS NO KNOWN ACCESS TO PUBLIC OR PRIVATE INGRESS/EGRESS FOR THIS PARCEL.
- A SUNSHINE 811 "DESIGN" TICKET 10970471 WAS OBTAINED TO DETERMINE THE UTILITY PROVIDERS WITHIN THE PROJECT LIMITS. THE PROJECT WAS SCANNED FOR UNDERGROUND UTILITIES USING ELECTRONIC DETECTION DEVICES AND GROUND PENETRATING RADAR (GPR). ANY UTILITIES FOUND WITHIN THE PROJECT LIMITS WERE SURFACE PAINTED AND FLAGGED WITH THE APPROPRIATE COLOR AS RECOGNIZED BY THE NATIONAL UTILITY LOCATING CONTRACTORS ASSOCIATION (NULCA). ANY UTILITIES MARKED BY ANOTHER FIRM WILL BE VERIFIED BY AN L&S DIVERSIFIED UTILITY LOCATOR.
- IT SHOULD BE UNDERSTOOD BY THE CLIENT THAT SOME UNDERGROUND UTILITIES MAY NOT BE MADE OF A CONDUCTIVE MATERIAL OR MAY NOT RETURN A GPR ECHO AND THEREFORE CANNOT BE DESIGNATED WITH ELECTRONIC PROSPECTING EQUIPMENT OR GPR.

CERTIFICATION:

TO :

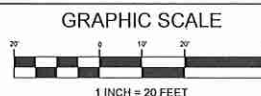
THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON _____

AS TO ITEM 7(A) AND 7(B)(1), THERE ARE NO STANDING BUILDINGS ON THE SITE, ONLY A CONCRETE FOUNDATION. AS TO ITEM 9, THERE ARE NO PARKING SPACES ON THE SITE. AS TO ITEM 16, THERE IS NO EVIDENCE OF EARTH MOVING, CONSTRUCTION OR BUILDING ADDITIONS ON THE SITE. AS TO ITEM 17, THE SURVEYOR IS NOT BEEN INFORMED OF ANY PROPOSED CHANGES IN RIGHT OF WAY LINES, EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. AS TO ITEM 18, THERE ARE NO DELINEATION OF WETLANDS ON THE SITE, AND NO MARKERS WERE OBSERVED NOR LOCATED. AS TO ITEM 19, NO OFFSITE EASEMENTS OR SERVITUDES WERE DISCLOSED IN ANY DOCUMENTS PROVIDED TO THE SURVEYOR.

DATE OF MAP: _____
SIGNATURE: _____
SHERRY L. MANOR
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER #6961

APOPKA DOLLAR GENERAL
HANLEX
ALTA/NPS LAND TITLE BOUNDARY AND TOPOGRAPHIC SURVEY

LOCATED IN
SECTION 16, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA

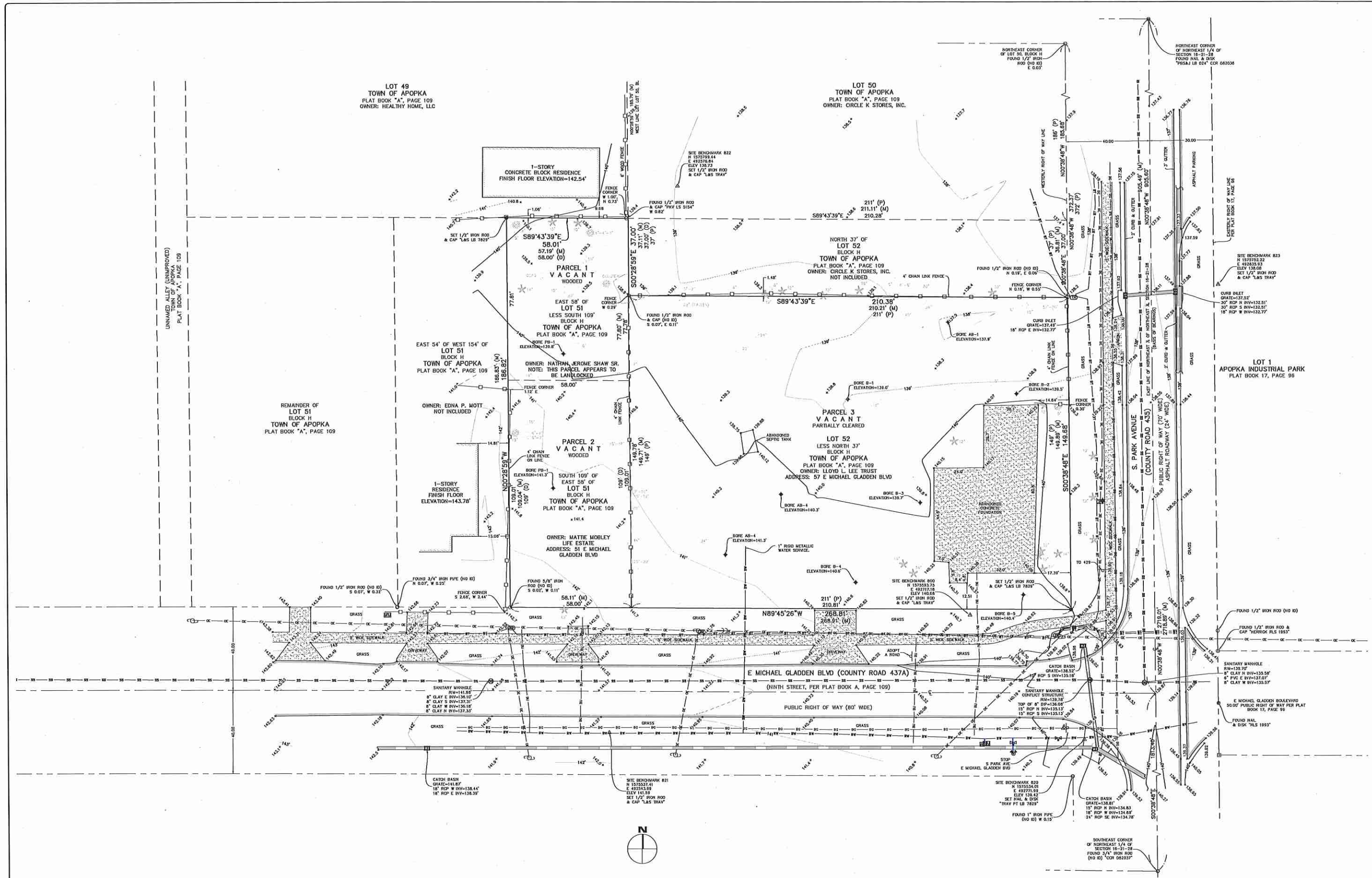


REVISIONS	
No.	DATE
01	2017.06.23
02	2018.02.08

PROJECT No.	17-0046
SURVEYOR	SM
SURVEY DATE	2017.02.14
DRAWN BY	SM
CHECKED BY	SM
REVIEWED BY	SM
APPROVED BY	SM

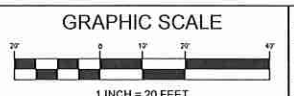
L & S Diversified
4255 W. HIGHLAND AVE., SUITE 200, APOPKA, FL 32703
PHONE: (407) 885-1111 FAX: (407) 885-1112
WWW.LANDSURVEYINGPROFESSIONALS.COM
PROFESSIONAL SURVEYOR & MAPPER REGISTRATION LICENSED

DRAWING No.
SURVEY-101
SHEET
1 OF 2



ALOPIA DOLLAR GENERAL
HANLEY
ALTA/NSPS LAND TITLE BOUNDARY AND
TOPOGRAPHIC SURVEY

LOCATED IN
SECTION 16, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA



REVISIONS	
No.	DATE
01	2017.06.23
02	2018.02.08

PROJECT No.	17-0046
DATE	02/14/18
BY	ELI
CHECKED BY	ELI
APPROVED BY	ELI



DRAWING No.
SURVEY-102
SHEET
2 OF 2



MEMORANDUM

December 11, 2017

Re: Dollar General – Apopka
Traffic Analysis
TMC Project No. 17127

The following analysis was conducted to assess the impact of the proposed development on the adjacent transportation facilities. The proposed 7,500 square foot Dollar General will be located the northwest corner of the intersection of Michael Gladden Boulevard and Park Avenue in the City of Apopka, Florida, as illustrated in **Figure 1**.

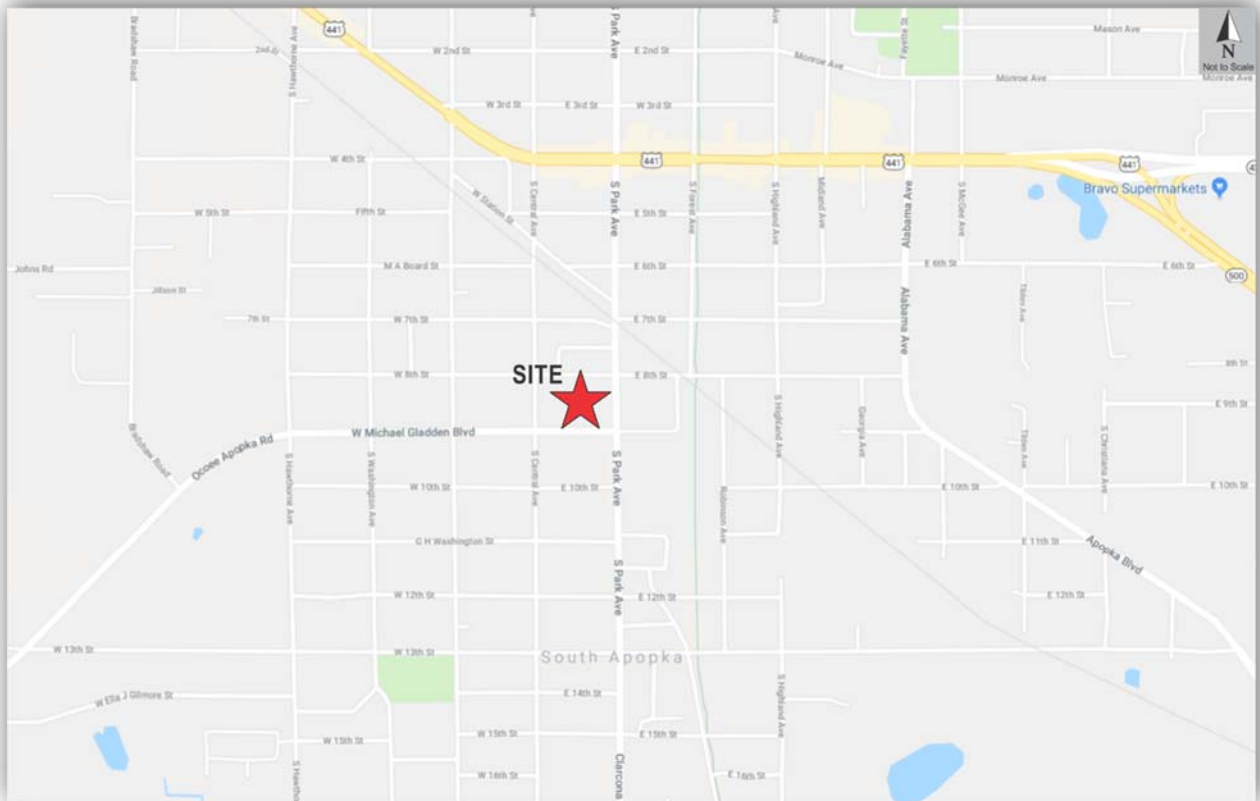


Figure 1 – Site Location

The site’s projected trip generation was calculated based on data published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual, 10th Edition*. The proposed building is a 7,500 square-foot Variety Store (ITE Land Use Code 814).

**Table 1
 Trip Generation Analysis**

Description	LU Code	Size	Daily		PM Peak Hour Trips			
			Rate	Trips	Rate	Enter	Exit	Total
Variety Store	814	7.5 KSF	63.47	476	6.84	27	24	51
<i>Pass By Trips</i>				162		9	8	17
Net Trip Generation				314		18	16	34

ITE Trip Generation Manual, 10th Edition

Based on this calculation, the proposed development is projected to generate a total of 314 new daily trips, of which 34 trips occur during the evening peak period. The project’s impact on the roadway system is anticipated to be negligible during the day and during the peak hour.

Project trips were distributed to the study segments, intersection and driveways based on existing and projected traffic patterns. Generally, the project trip distribution is as follows:

- To/From North on Park Avenue 40%
- To/From South on Park Avenue 35%
- To/From West on Michael Gladden Blvd 25%

The proposed development is anticipated to be constructed and open in the year 2018. Therefore, the analysis of conditions at buildout was performed using existing traffic data and project trips at the intersection. The analysis of roadway segment included the existing and committed trips, where available, as obtained from the City of Apopka’s latest Trip Allocation Tables of the Concurrency Management System.

The results of the projected roadway segment capacity analysis are summarized in Table 2, which indicates that the roadway segments have sufficient capacity to accommodate the proposed development.

Table 2
Projected Roadway Segment Analysis

Roadway Segment	Capacity		Proj Distr	Daily Trips				PM Peak			Meets Std		
	Daily	Peak		Traffic	Com	Proj	Total	Traffic	Com	Proj	Total	Daily	PK
Park Avenue													
US 441 to Michael Gladden Blvd	15,600	800	40%	13,011	0	126	13,137	591	0	6	597	Y	Y
Michael Gladden Boulevard													
Bradshaw Rd to Park Ave	15,600	800	25%	4,827	0	79	4,906	279	0	5	284	Y	Y

The projected intersection operations were analyzed using the methods of the Highway Capacity Manual (HCM) and the Synchro software tool. Existing intersection volumes were obtained during the PM peak period at Park Avenue and Michael Gladden Boulevard. Project trips were assigned to the intersection based on the project’s trip distribution. The projected volumes at buildout of the development are illustrated in **Figure 2**.

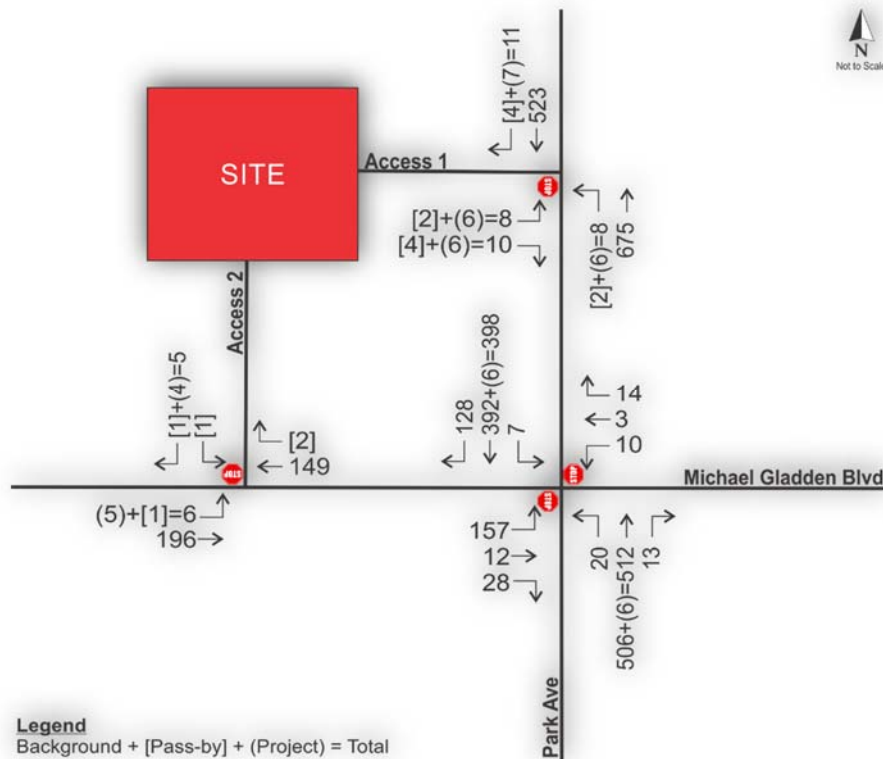


Figure 2 – Projected Intersection Volumes

The results of the intersection analysis, summarized in Table 3, reveal that the project access points are projected to operate adequately at buildout. As for the intersection of Park Avenue and Michael Gladden Boulevard, it is projected to continue experiencing extended delays on the eastbound left turn movement during the evening peak period. This condition existing currently due to the lack of sufficient gaps on Park Avenue to allow an efficient left turn movement from the stop sign. The condition will continue to prevail unless alternative traffic control (i.e. four-way stop, traffic signal, roundabout, etc.) is implemented at this intersection. The proposed development is not projected to add any traffic to the deficient eastbound movement, and project traffic is less than 1% of the total peak hour traffic through the intersection.


Table 3
Projected Intersection Analysis

Intersection	Control	EB		WB		NB		SB	
		Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Park Ave & Michael Gladden Blvd	TWSC	161.7	F	21.5	C	8.7	A	8.6	A
Access 1 & Park Ave	TWSC	19.4	C	--	--	8.7	A	--	--
Access 2 & Michael Gladden Blvd	TWSC	7.6	A	--	--	--	--	9.4	A

Delay is expressed in seconds/vehicle

Therefore, based on the results of this analysis, the proposed Dollar General development will not adversely impact the transportation network and is adequately supported by existing transportation facilities.

Regards,

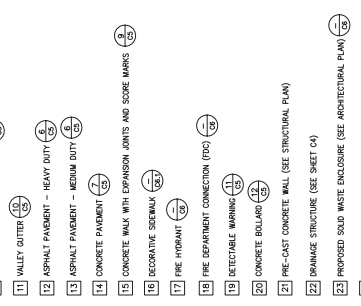


Mohammed Abdallah, PE, PTOE
 Florida PE No. 56169
 December 11, 2017

ATTACHMENTS

REVISION	DATE	REVISION	DATE

- PLAN NOTES**
- 1 HANDCAP PARKING, STRIPING & HANDICAP ACCESS AISLE (15)
 - 2 HANDCAP PARKING SIGN (2 PLACES) (15)
 - 3 PAVEMENT MARKING (15)
 - 4 4" WHITE (PAINT) (15)
 - 5 24" WHITE STOP BAR (PAINT) (15)
 - 6 6" DOUBLE STRIPING (FOOT INDEX 1794) (15)
 - 7 CROSSWALK STRIPING - THERMOPLASTIC (FOOT INDEX 1794) (15)
 - 8 30" STOP SIGN (R-I-1) (15)
 - 9 VERTICAL CURB (15)
 - 10 TRANSITION CURB (FOOT INDEX 300) (15)
 - 11 VALLEY GUTTER (15)
 - 12 ASPHALT PAVEMENT - HEAVY DUTY (15)
 - 13 ASPHALT PAVEMENT - MEDIUM DUTY (15)
 - 14 CONCRETE PAVEMENT (15)
 - 15 CONCRETE WALK WITH EXPANSION JOINTS AND SCORE MARKS (15)
 - 16 SECURATIVE SIDEWALK (15)
 - 17 FIRE HYDRANT (15)
 - 18 FIRE DEPARTMENT CONNECTION (FDC) (15)
 - 19 DETECTABLE MARKING (15)
 - 20 CONCRETE BOLLARD (15)
 - 21 PRE-CAST CONCRETE WALL (SEE STRUCTURAL PLAN) (15)
 - 22 STORAGE STRUCTURE (SEE SHEET 04) (15)
 - 23 PROPOSED SOLID WASTE ENCLOSURE (SEE ARCHITECTURAL PLAN) (15)
 - 24 POLE MOUNTED TRANSFORMER (SEE ELECTRICAL PLAN) (15)
 - 25 PROPOSED WATER METERS AND BACKFLOW PREVENTERS (SEE SHEET C3) (15)
 - 26 SITE LIGHTING (SEE ELECTRICAL SHEET) (15)
 - 27 MONUMENT SIGN (SEE SIGNAGE PLANS) (15)



REFER TO SHEET C03 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS. IN ADDITION TO SITE SPECIFIC NOTES AND REPRESENTATIONS.

SITE DIMENSION PLAN

LOT 49 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: HEALTHY HOME, LLC

LOT 50 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: CIRCLE K STORES, INC.

LOT 51 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 52 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: CIRCLE K STORES, INC.
 NOT INCLUDED

LOT 53 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 54 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 55 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 56 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 57 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 58 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 59 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
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LOT 60 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 61 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

LOT 62 APOPKA
 TOWN OF APOPKA
 PLAT BOOK "A", PAGE 109
 OWNER: EDNA F. MOTT
 NOT INCLUDED

Variety Store (814)

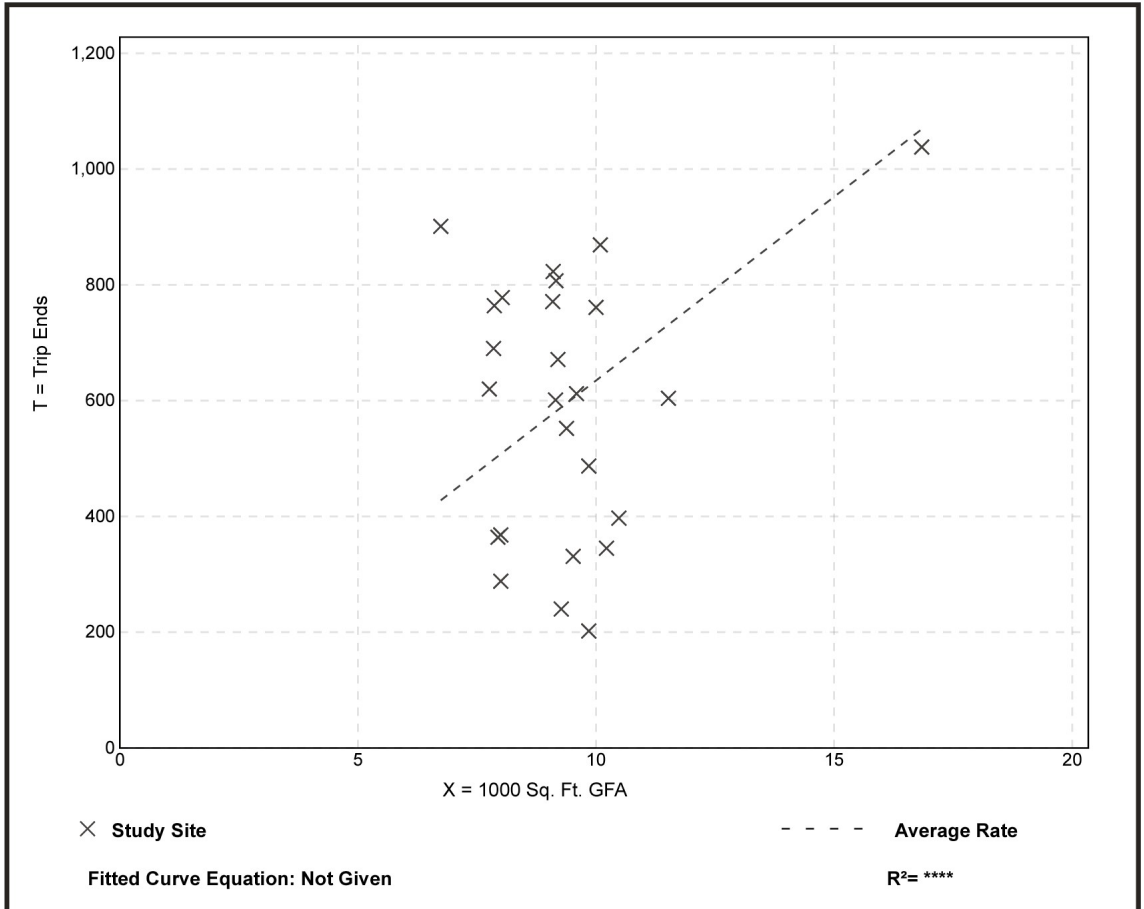
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 25
1000 Sq. Ft. GFA: 9
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
63.47	20.51 - 133.68	25.93

Data Plot and Equation



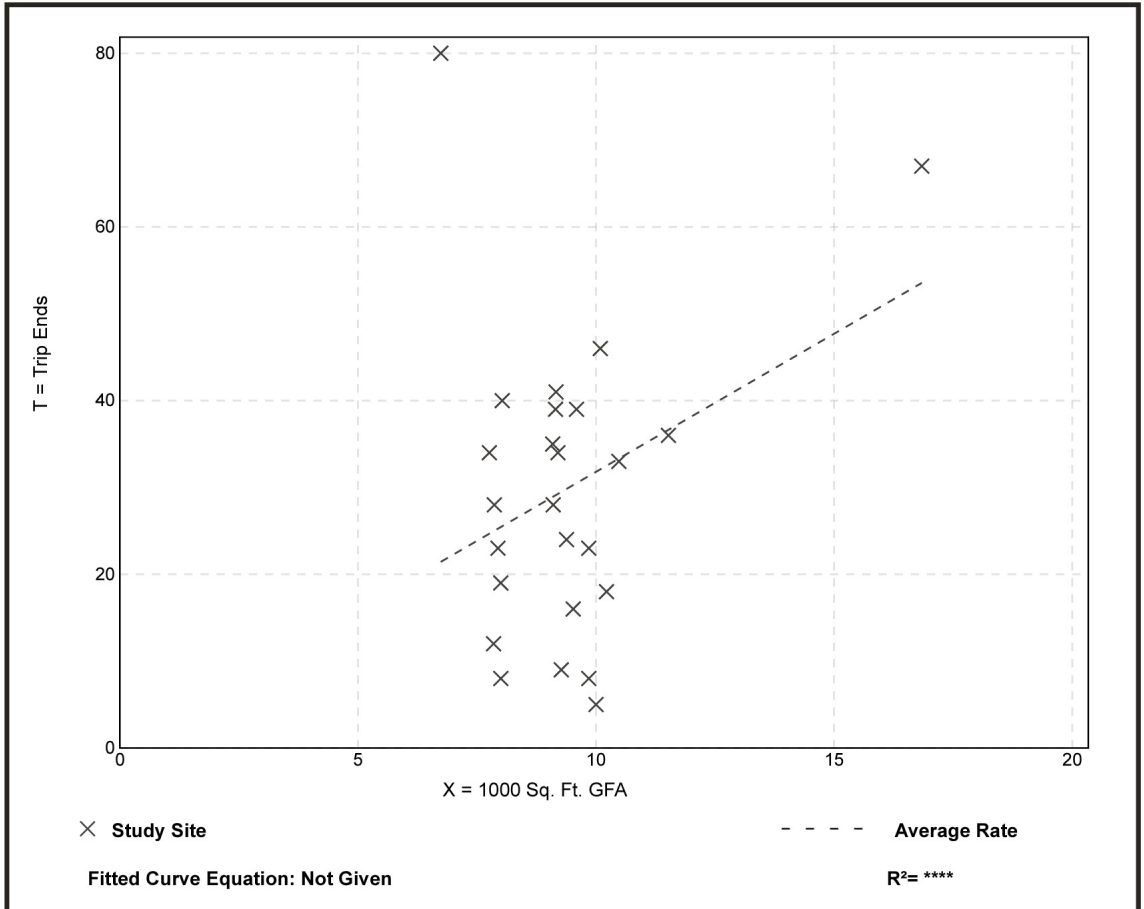
Variety Store (814)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 25
 1000 Sq. Ft. GFA: 9
 Directional Distribution: 57% entering, 43% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.18	0.50 - 11.87	2.01

Data Plot and Equation



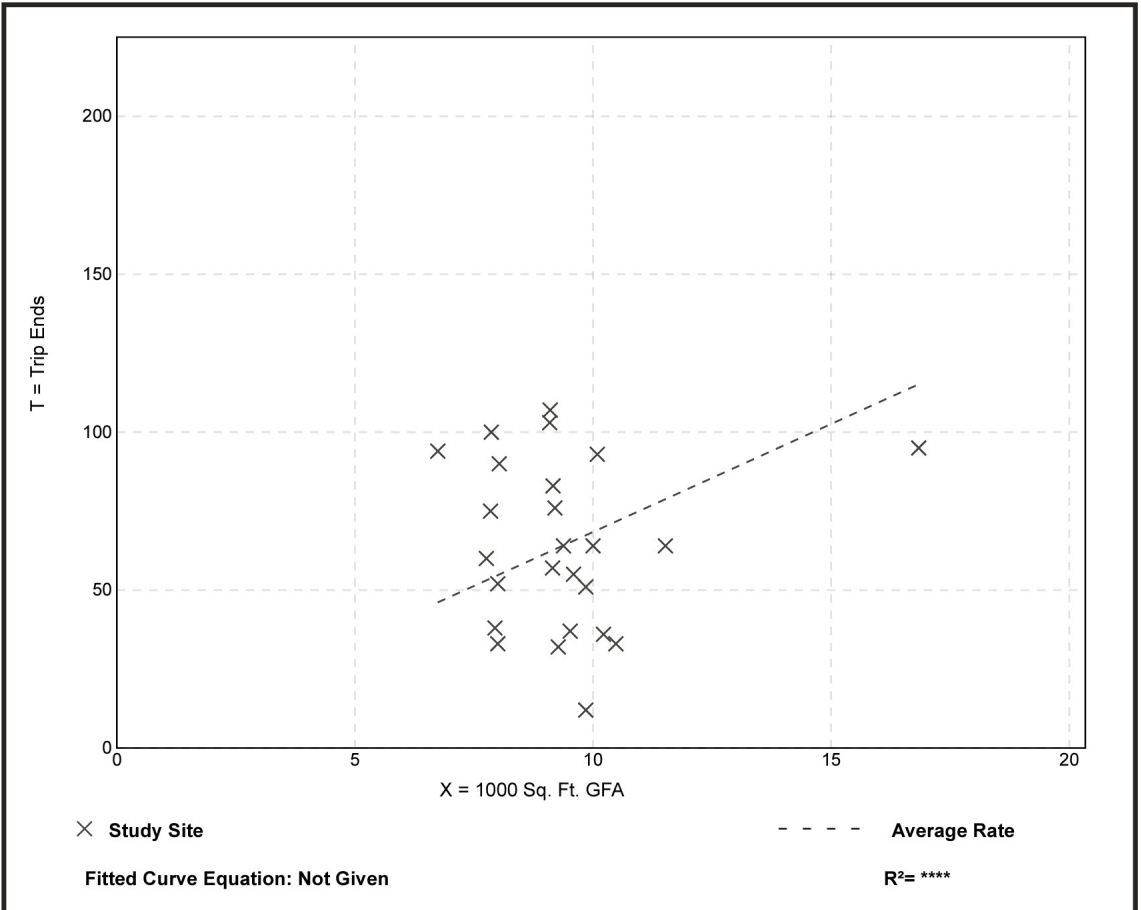
Variety Store (814)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 25
 1000 Sq. Ft. GFA: 9
 Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
6.84	1.22 - 13.95	3.19

Data Plot and Equation

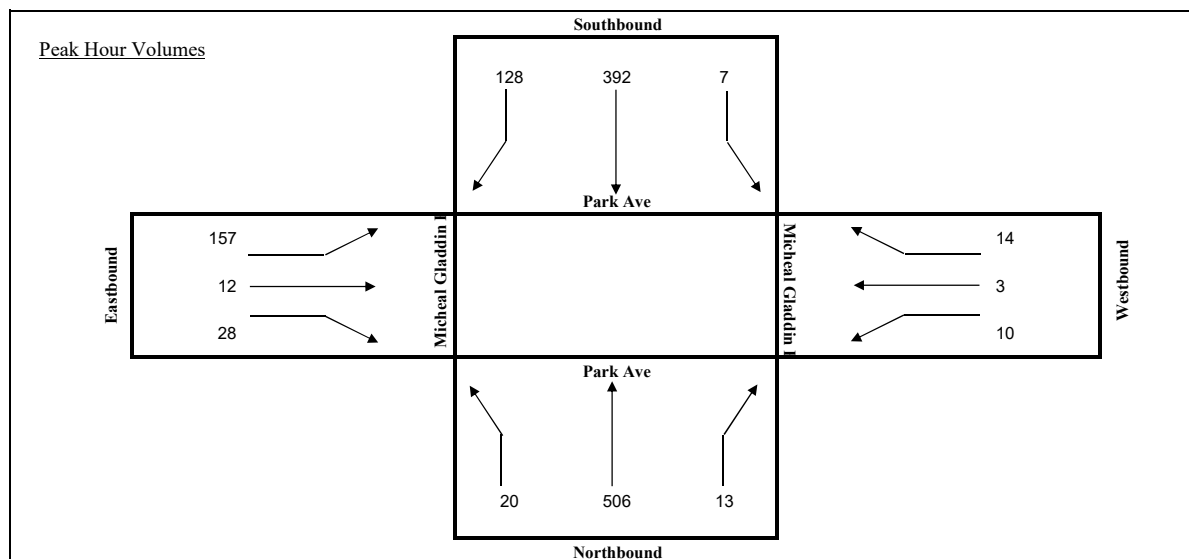


**TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS**

Intersection (N/S): Park Ave
 Intersection (E/W): Micheal Gladdin Blvd
 Date: 11/30/2017

Start	End	Park Ave			Park Ave			Micheal Gladdin Blvd			Micheal Gladdin Blvd			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
4:00 PM	4:15 PM	3	111	5	2	114	33	43	2	9	3	1	1	327
4:15 PM	4:30 PM	7	122	1	3	91	20	35	0	12	1	0	0	292
4:30 PM	4:45 PM	5	141	3	2	93	30	36	5	9	4	2	0	330
4:45 PM	5:00 PM	3	123	2	3	89	31	43	3	9	1	1	3	311
5:00 PM	5:15 PM	4	127	4	0	105	36	42	2	6	5	0	4	335
5:15 PM	5:30 PM	3	129	2	2	91	32	41	2	9	2	0	0	313
5:30 PM	5:45 PM	10	127	5	2	107	29	31	5	4	2	2	7	331
5:45 PM	6:00 PM	9	115	3	3	100	26	29	2	3	4	3	5	302

Total for:	4:00 PM	5:00 PM	18	497	11	10	387	114	157	10	39	9	4	4	1260
Total for:	5:00 PM	6:00 PM	26	498	14	7	403	123	143	11	22	13	5	16	1281
Tota Peak Hour:	4:45 PM	5:45 PM	20	506	13	7	392	128	157	12	28	10	3	14	1290
Overall PHF:	0.96														





30
mph
↑ ↓

stop



stop

30
mph
← →



Michael Gladden Blvd

Park Ave

City of Apopka CMS
Daily and PM Peak Hour/Peak Direction (PH/PD) Encumbered Traffic Allocation Worksheets
FINAL REPORT

Base Traffic Volume: 2015

Revision Date: 2/9/2016

Roadway Section	# of Lanes	LOS	Adopted Standard		Applicant Inventory	Encumbered Trips		Daily Traffic		PM PH/PD Traffic		
			Roadway Capacity			Daily	PM PH/PD	Base Volume	Available Capacity	Base Volume	Available Capacity	Peak Direction
			Daily	PHPD								
Minor Arterials												
CR 424 (Alabama Avenue/Apopka Boulevard)												
US 441 to 8th St	2L	E	15,600	800								
					Development Name	0	0	2,353	13,247	150	650	SB/WB
					Applicant Inventory Total	0	0		84.92%		81.25%	
8th St to Sheeler Rd	2L	E	17,700	880								
					Development Name	0	0	4,013	13,687	212	668	NB/EB
					Applicant Inventory Total	0	0		77.33%		75.91%	
Sheeler Rd to Lakeville Rd	2L	E	17,700	880								
					Development Name	0	0	8,325	9,375	486	394	NB/EB
					Applicant Inventory Total	0	0		52.97%		44.77%	
Lakeville Rd to Hiawasse Rd	3L	E	18,600	920								
					Development Name	0	0	11,091	7,509	660	260	NB/EB
					Applicant Inventory Total	0	0		40.37%		28.26%	
Hiawasse Rd to Overland Rd	2L	E	15,600	800								
					Development Name	0	0	7,218	10,852	451	542	NB/EB
					Applicant Inventory Total	0	0		69.56%		67.75%	
Overland Rd to US 441	2L	E	15,600	800								
					Development Name	0	0	4,748	10,852	258	542	SB/WB
					Applicant Inventory Total	0	0		69.56%		67.75%	
CR 435 (Rock Spring Road/Park Avenue/Clarcona Road)												
Kelly Park Rd to Ponkan Rd	4LD	E	30,400	1,580								
					Hillside at Wekiva (fka Ponkan Reserve - North)	98	10	16,751	13,328	947	600	NB/EB
					Ponkan Reserve - South	63	7		43.84%		37.97%	
					Rock Springs Ridge	160	16					
					Applicant Inventory Total	321	33					
Ponkan Rd to Welch Rd	5L	E	39,800	2,000								
					Hillside at Wekiva (fka Ponkan Reserve - North)	195	21	19,585	19,628	1,229	711	NB/EB
					Ponkan Reserve - South	126	13		49.32%		35.55%	
					Rock Springs Ridge	266	26					
					Applicant Inventory Total	587	60					
Welch Rd to Sandpiper Rd	5L	E	39,800	2,000								
					Ladybird Academy	362	44	22,029	17,274	1,234	713	NB/EB
					Sandpiper Road Subdivision	135	9		43.40%		35.65%	
					Applicant Inventory Total	497	53					
Sandpiper Rd to Votaw Rd	5L	E	33,800	1,700								
					Ladybird Academy	348	43	21,560	11,865	1,199	456	NB/EB
					Sandpiper Road Subdivision	27	2		35.10%		26.82%	
					Applicant Inventory Total	375	45					
Votaw Rd to Orange St	5L	E	33,800	1,700								
					Park Ave Professional Center	145	13	21,855	11,800	1,097	590	NB/EB
					Applicant Inventory Total	145	13		34.91%		34.71%	
Orange St to US 441	5L	E	33,800	1,700								
					Park Ave Professional Center	138	12	24,740	8,922	1,258	430	NB/EB
					Applicant Inventory Total	138	12		26.40%		25.29%	
US 441 to Michael Gladden Blvd	2L	E	15,600	800								
					Development Name	0	0	13,011	2,589	591	209	NB/EB
					Applicant Inventory Total	0	0		16.60%		26.13%	
Michael Gladden Blvd to Cleveland St	2L	E	15,600	800								
					Circle K Retail	307	12	10,442	4,851	464	324	NB/EB
					Applicant Inventory Total	307	12		31.10%		40.50%	

**City of Apopka CMS
Daily and PM Peak Hour/Peak Direction (PH/PD) Encumbered Traffic Allocation Worksheets
FINAL REPORT**

Base Traffic Volume: 2015

Revision Date: 2/9/2016

Roadway Section	# of Lanes	LOS	Adopted Standard		Applicant Inventory	Encumbered Trips		Daily Traffic		PM PH/PD Traffic		
			Roadway Capacity	PHPD		Daily	PM PH/PD	Base Volume	Available Capacity	Base Volume	Available Capacity	Peak Direction
Minor Arterials (Continued)												
CR 437A (Ocoee-Apopka Road/Michael Gladden Boulevard/Central Avenue) (Continued)												
Bradshaw Rd to Central Ave	2L	E	15,600	800				4,630	5,623	247	215	NB/EB
					Cooper Oak (fka Bradshaw Commerce Park)	30	6		36.04%		26.88%	
					Cooper Palms	101	14					
					Emerson Point	1,269	77					
					Florida Hospital Replacement	3,132	185					
					Johns Road Commerce Center	43	4					
					Marden Ridge Apartments	176	6					
					Oakmont Industrial	596	46					
					Applicant Inventory Total	5,347	338					
Michael Gladden Blvd to US 441	2L	E	15,600	800				4,827	10,773	279	521	NB/EB
					Development Name	0	0		69.06%		65.13%	
					Applicant Inventory Total	0	0					
Lakeville Road												
Apopka Blvd to Wildwood St	2L	E	17,700	880				4,223	13,477	248	632	NB/EB
					Development Name	0	0		76.14%		71.82%	
					Applicant Inventory Total	0	0					
Plymouth-Sorrento Road (CR 437)												
County Line to Kelly Park Rd	2L	E	31,500	1,640				9,125	22,240	667	965	NB/EB
					Orchid Estates (fka J.B. Nurseries)	135	8		70.60%		58.84%	
					Applicant Inventory Total	135	8					
Kelly Park Rd to Ponkan Rd	2L	E	17,700	880				10,200	6,835	746	92	NB/EB
					Oak Ridge Subdivision	434	27		38.62%		10.45%	
					Orchid Estates (fka J.B. Nurseries)	231	15					
					Applicant Inventory Total	665	42					
Ponkan Rd to Lester Rd/Yothers Rd	2L	E	18,600	920				12,108	6,101	856	31	NB/EB
					Chandler Estates	40	4		32.80%		3.37%	
					Lester Ridge Subdivision	59	6					
					Oak Ridge Subdivision	186	12					
					Schopke Road Subdivision	106	11					
					Applicant Inventory Total	391	33					
Lester Rd/Yothers Rd to SR 429 Connector Rd	2L	E	16,200	1,020				13,348	2,315	919	52	NB/EB
					Chandler Estates	79	8		14.29%		5.10%	
					Lester Ridge Subdivision	78	8					
					Oak Ridge Subdivision	186	12					
					Schopke Road Subdivision	194	21					
					Applicant Inventory Total	537	49					
SR 429 Connector Rd to US 441	2L	E	17,700	880				6,306	10,857	312	519	NB/EB
					Chandler Estates	79	8		61.34%		58.98%	
					Lester Ridge Subdivision	78	8					
					Oak Ridge Subdivision	186	12					
					Schopke Road Subdivision	194	21					
					Applicant Inventory Total	537	49					
Sheeler Road												
SR 436 to US 441	3L	E	16,400	840				9,548	6,852	502	338	NB/EB
					Development Name	0	0		41.78%		40.24%	
					Applicant Inventory Total	0	0					
US 441 to Apopka Blvd	2L	E	17,700	880				8,846	8,854	390	490	SB/WB
					Development Name	0	0		50.02%		55.68%	
					Applicant Inventory Total	0	0					
Apopka Blvd to Cleveland St	2L	E	17,700	880				8,944	8,578	404	438	SB/WB
					Silver Oaks	178	38		48.46%		49.77%	
					Applicant Inventory Total	178	38					
Cleveland St to Keene Rd	2L	E	17,700	880				5,155	11,655	333	433	NB/EB
					Alicante Subdivision	701	74		65.85%		49.20%	
					Silver Oaks	189	40		65.85%		49.20%	
					Applicant Inventory Total	890	114					

HCM 2010 TWSC
 3: Park Ave & Michael Gladden Blvd

Intersection												
Int Delay, s/veh	25.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	157	12	28	10	3	14	20	512	13	7	398	128
Future Vol, veh/h	157	12	28	10	3	14	20	512	13	7	398	128
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	171	13	30	11	3	15	22	557	14	8	433	139

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	1133	1131	502	1146	1194	564	572	0	0	571	0	0
Stage 1	517	517	-	607	607	-	-	-	-	-	-	-
Stage 2	616	614	-	539	587	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	180	203	569	176	187	525	1001	-	-	1002	-	-
Stage 1	541	534	-	483	486	-	-	-	-	-	-	-
Stage 2	478	483	-	527	497	-	-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	~ 167	194	569	153	179	525	1001	-	-	1002	-	-
Mov Cap-2 Maneuver	~ 167	194	-	153	179	-	-	-	-	-	-	-
Stage 1	524	528	-	468	470	-	-	-	-	-	-	-
Stage 2	446	468	-	481	491	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	161.7	21.5	0.3	0.1
HCM LOS	F	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1001	-	-	187	248	1002	-
HCM Lane V/C Ratio	0.022	-	-	1.145	0.118	0.008	-
HCM Control Delay (s)	8.7	0	-	161.7	21.5	8.6	0
HCM Lane LOS	A	A	-	F	C	A	A
HCM 95th %tile Q(veh)	0.1	-	-	10.8	0.4	0	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

HCM 2010 TWSC
6: Park Ave & Access 1

Intersection

Int Delay, s/veh 0.3

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y			4	1	
Traffic Vol, veh/h	8	10	8	675	523	11
Future Vol, veh/h	8	10	8	675	523	11
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	11	9	734	568	12

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	1325	574	580	0	0
Stage 1	574	-	-	-	-
Stage 2	751	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	172	518	994	-	-
Stage 1	563	-	-	-	-
Stage 2	466	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	169	518	994	-	-
Mov Cap-2 Maneuver	169	-	-	-	-
Stage 1	563	-	-	-	-
Stage 2	459	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	19.4	0.1	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	994	-	270	-	-
HCM Lane V/C Ratio	0.009	-	0.072	-	-
HCM Control Delay (s)	8.7	0	19.4	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

HCM 2010 TWSC
 8: Michael Gladden Blvd & Access 2

Intersection

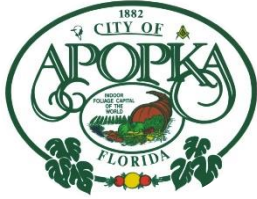
Int Delay, s/veh 0.3

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↖	↗		↘	
Traffic Vol, veh/h	6	196	149	2	1	5
Future Vol, veh/h	6	196	149	2	1	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	7	213	162	2	1	5

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	164	0	389
Stage 1	-	-	163
Stage 2	-	-	226
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1414	-	615
Stage 1	-	-	866
Stage 2	-	-	812
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1414	-	611
Mov Cap-2 Maneuver	-	-	611
Stage 1	-	-	866
Stage 2	-	-	807

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	9.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1414	-	-	-	821
HCM Lane V/C Ratio	0.005	-	-	-	0.008
HCM Control Delay (s)	7.6	0	-	-	9.4
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	June 26, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Preliminary Development Plan		Aerial Map
		Preliminary Development Plan
		Architectural Elevations
		Traffic Impact Analysis

SUBJECT: MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – GREYSTONE SKILLED NURSING FACILITY

REQUEST: RECOMMEND APPROVAL OF THE MASTER/PRELIMINARY DEVELOPMENT PLAN FOR GREYSTONE SKILLED NURSING FACILITY LOCATED AT 1601 ALSTON BAY BOULEVARD

SUMMARY:

OWNER: Residences at Emerson Park, LLC

APPLICANT/ENGINEER: Donald W. McIntosh Associates, Inc., c/o Michael Farrell, P.E.

LOCATION: 1601 Alston Bay Boulevard

PARCEL ID #: 20-21-28-2522-00-007

LAND USE: Commercial

ZONING: Mixed-EC

EXISTING USE: Vacant property

PROPOSED USE: Skilled Nursing Facility

BUILDING SIZE: 108,567 square feet

TRACT SIZE: Total property - 24.08 +/- acres, Greystone development area - 9.77 +/- acres, remaining area - 14.31 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	Mixed-EC	Vacant
East (City)	Mixed Use	Mixed-EC	Emerson Park Conservation area/open space
South (City)	Mixed Use	Mixed-EC	Emerson Park Conservation area/open space
West (City)	Mixed Use, Industrial	Mixed-EC, I-1	Vacant

ADDITIONAL COMMENTS: The subject property is approximately 24.08 acres in size and is zoned Mixed EC, and is located at the northeast corner of the intersection of Ocoee-Apopka Road and Alston Bay Boulevard, specifically at 1601 Alston Bay Boulevard. The property is located within the Emerson Park subdivision, on Tract “G” as noted on the plat thereof. The property is subject to a Development Agreement that was approved in 2006, which requires the property to be developed as a Town Center. The applicant has filed a termination of this Development Agreement, which will be required to be approved by the City Council. The Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan details a two lot commercial subdivision consisting of one 9.77 acre parcel with a 108,567 square foot Skilled Nursing Facility and a 14.23 acre vacant parcel that will be reserved for uses that are permitted in the Mixed EC zoning district.

PARKING: A total of 218 parking spaces will be provided on site for the skilled nursing facility. Two parking spaces are reserved for emergency vehicles. Ten spaces are handicapped parking spaces. Additional parking spaces are available along Alston Bay Blvd.

ACCESS: Access to the site is provided via two full access points located on Alston Bay Boulevard.

TRANSPORTATION: A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City’s adopted TIA methodology. Included in the analysis were segments of Ocoee-Apopka Road, Harmon Road, Keene Road, Marden Road, and Alston Bay Boulevard. Intersections analyzed were Ocoee-Apopka Road and Keene Road, Alston Bay Boulevard, and Harmon Road; Marden Road and Morga Drive/Hilltop Reserve Lane; and the two site entrances on Alston Bay Boulevard. Right and left turn lane warrant studies at the site entrance were also conducted.

The project will generate 1,060 daily trips and 123 P.M. Peak Hour trips. The addition of these project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City’s adopted LOS. The roadway segment of Ocoee-Apopka Road between SR 429 and Keene Road is currently over capacity and will continue to have deficient capacity until Orange County widens it to four lanes. The current intersection analyses with existing traffic volumes indicate that the addition of the Greystone Skilled Nursing Facility project trips will not cause the study intersections or the site entrances to be over capacity. However, the intersection of Ocoee-Apopka Road and Keene Road has delay issues during the P.M. Peak Hour. This project will not adversely impact the current operation of the intersection but the intersection will continue to experience delays for the minor street (Keene Road) movements until the planned signal is installed. Ocoee-Apopka Road is under the jurisdiction of Orange County, and any improvements to this road are controlled by Orange County.

ARCHITECTURAL ELEVATIONS: The architectural elevations provided for the Skilled Nursing Facility propose a one story building with architectural design elements including decorative cupolas, painted stucco, stone veneer, vinyl impact windows, and decorative painted stucco trim forming a watermark around

**PLANNING COMMISSION – JUNE 26, 2018
GREYSTONE SKILLED NURSING FACILITY –
MASTER PRELIMINARY DEVELOPMENT PLAN
PAGE 3**

the perimeter of the building. The building exhibits high quality architectural elements that are required in the Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be conveyed to the existing master stormwater system for the Emerson Park subdivision. This stormwater system was sized for development of Tract G, and was permitted by St. John's River Water Management District (SJRWMD) permit #4-095-101Q65.

BUFFER/TREE PROGRAM: The applicant has provided a detailed landscape and irrigation plan that complies with the requirements of the City's Land Development Code. The planting materials and irrigation system design are consistent with the water-efficient, Florida-friendly landscape standards set forth in Ordinance No. 2069. Landscaping including Live Oaks, Red Maple, Southern Magnolia, Dahoon Holly, Crepe Myrtle, Zoysia and Bahia sod are provided on site.

TREES: There is one pine on the site that is 9-inches D.B.H. The landscape plan proposes replacing this tree with three, three-inch D.B.H trees. The site currently has Agricultural Property Tax Credit status as young pine trees are planted in rows throughout the site. Planted pines are not subject to the City's arbor ordinance when planted for agriculture\silvaculture purposes.

DEVELOPMENT AND ZONING CONDITIONS OF APPROVAL: That the zoning classification of the following described property be designated as Mixed-EC, as defined in the Land Development Code, and with the following provisions:

1. Development of the property is subject to the requirements of the Land Development Code, Mixed-EC zoning district.
2. City Council approval of the termination of the Amended and Restated Developer's Agreement for Emerson Park, dated March 1, 2006.

PUBLIC HEARING SCHEDULE:

June 26, 2018 - Planning Commission (5:30 pm)

July 18, 2018 - City Council (7:00 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan, subject to the findings of this staff report.

Planning Commission Recommendation: Find the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan, subject to the findings of this staff report and City Council approval of the termination of the Amended and Restated Developer's Agreement for Emerson Park, dated March 1, 2006.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**PLANNING COMMISSION – JUNE 26, 2018
GREYSTONE SKILLED NURSING FACILITY –
MASTER PRELIMINARY DEVELOPMENT PLAN
PAGE 4**

Application: Master Preliminary Development Plan/Preliminary Subdivision Plan
Owner: Residences at Emerson Park, LLC
Applicant/Engineer: Donald W. McIntosh Associates, Inc., c/o Michael Farrell, P.E.
Parcel I.D. No: 20-21-28-2522-00-007
Location: 1601 Alston Bay Boulevard
Acres: 24.08 acres

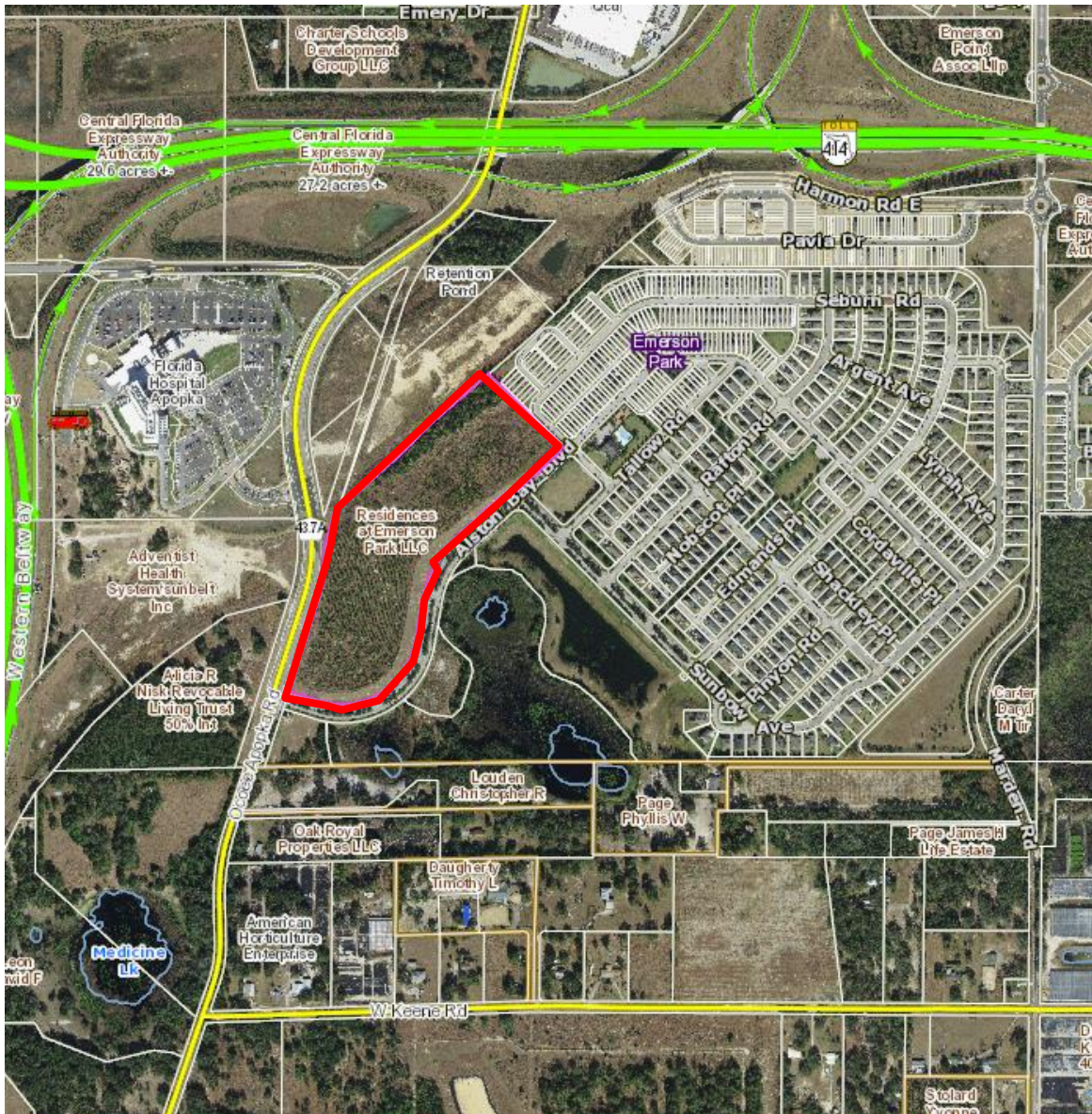


VICINITY MAP





AERIAL MAP





EMMETT WALSH
 ARCHITECT
 3401 WEST BAY DRIVE, SUITE 200
 LARGO, FL 34747



PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



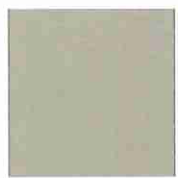
PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



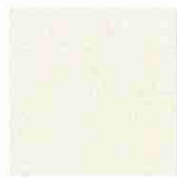
SHINGLE ROOFING:
 GAF TIMBERLINE HD
 COLOR: DRIFTWOOD



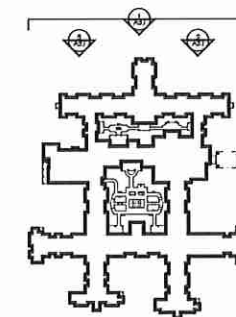
STUCCO PAINT COLOR:
 SHERWIN WILLIAMS - SW288
 COLOR: DOWNING STRAW



SIDING PAINT COLOR:
 SHERWIN WILLIAMS - SW663
 COLOR: GRASSLAND



TRIM, COLUMNS, GUTTERS AND DOWNSPOUT
 PAINT COLOR:
 SHERWIN WILLIAMS - SW6305
 COLOR: DOVER WHITE



KEY PLAN
 NOT TO SCALE

PROPOSED:
**GREYSTONE-
 180 BED
 SKILLED
 NURSING
 FACILITY**

ORANGE CO., FLORIDA

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PUBLICATION	DATE
CONCEPT	
SCHEMATIC DESIGN	
PRELIMINARY DESIGN	
DESIGN DEVELOPMENT	
PERMIT SET	
BID SET	
FOR CONSTRUCTION	
REVISIONS:	

PLOT DATE:
 8/30/2017 9:05:59 AM

FILE LOCATION:
 P:\1720-1740\1720 Greystone Orange
 Civil\Arch\Rendering\2017\08\A3.1 Exterior Elevations -
 8/30/2017 11:41:11 AM E:\Projects\1720\A3.1

SHEET DESCRIPTION:
EXTERIOR ELEVATIONS

PROJECT NO.
 1720

SCALE:
 1/8" = 1'-0"

DRAWING NO.
A3.1



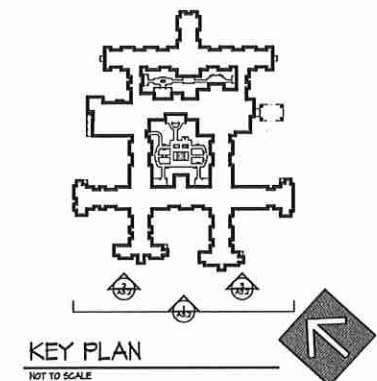
OVERALL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EMMETT WALSH
ARCHITECT
1431 WEST BAY DRIVE SUITE 200
GAITHERSBURG, MD 20878

PROPOSED:
**GREYSTONE-
180 BED
SKILLED
NURSING
FACILITY**

ORANGE CO., FLORIDA

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PUBLICATION	DATE
CONCEPT:	
SCHEMATIC DESIGN:	
PRELIMINARY DESIGN:	
DESIGN DEVELOPMENT:	
PERMIT SET:	
BID SET:	
FOR CONSTRUCTION:	
REVISIONS:	

PLOT DATE: 8/10/2016 9:59 AM

FILE LOCATION: P:\1728-1749-1728 Greystone Orange
CalArch\Working\2016\Greystone\1-1818 Elevator Elevations -
Revisions\A3.2 & Exterior Elevations.dwg

SHEET DESCRIPTION:
EXTERIOR ELEVATIONS

PROJECT NO. 1728 SCALE: 1/8" = 1'-0"

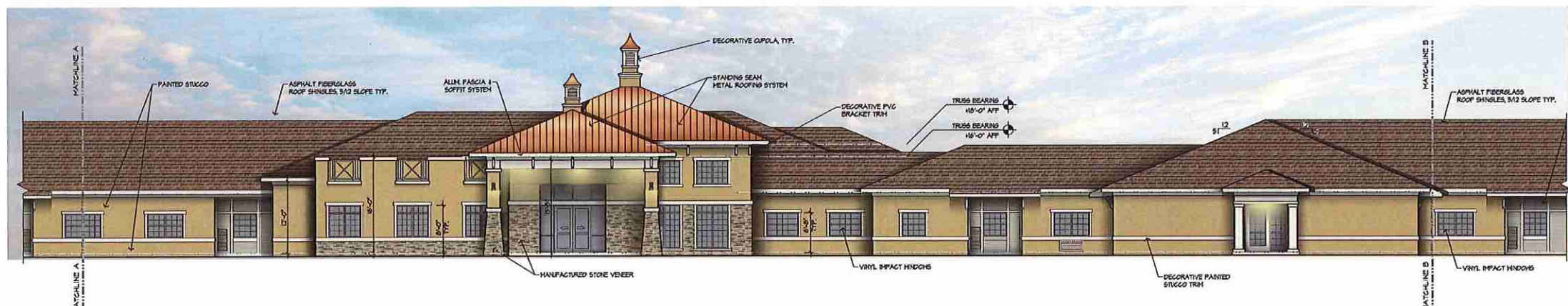
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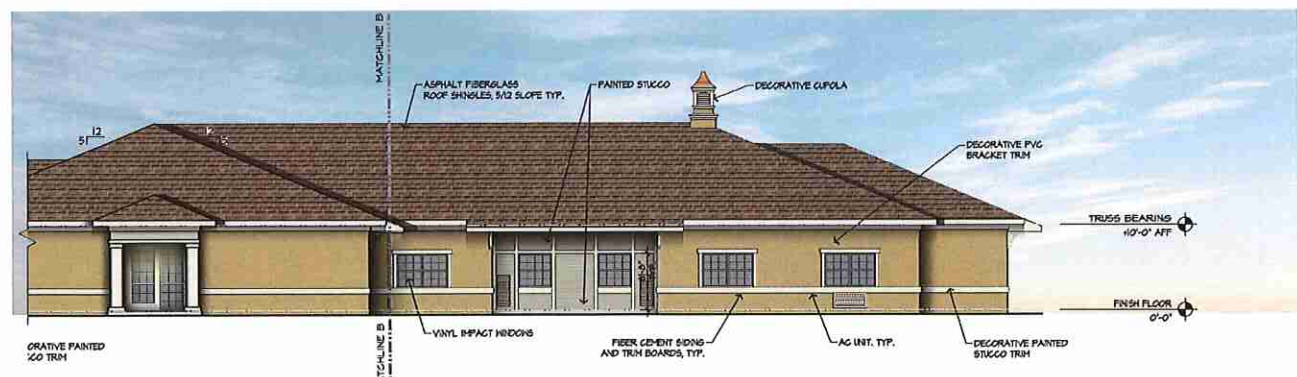
OVERALL EAST ELEVATION
SCALE: 1/8" = 1'-0"



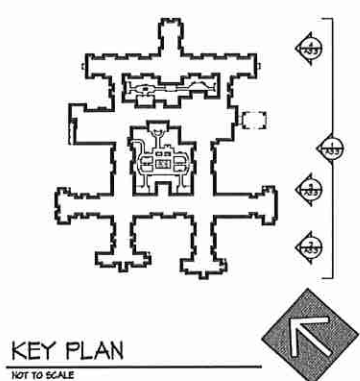
PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
NOT TO SCALE



EMMETT WALSH
ARCHITECT FIRM, INC.
1300
LINDSEY
LANARK, FL 32750

PROPOSED:
**GREYSTONE-
180 BED
SKILLED
NURSING
FACILITY**

ORANGE CO., FLORIDA

DO NOT SCALE PRINTS

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PUBLICATION	DATE
CONCEPT	
SCHEMATIC DESIGN	
PRELIMINARY DESIGN	
DESIGN DEVELOPMENT	
PERMIT SET	
BID SET	
FOR CONSTRUCTION	
REVISIONS:	

PLOT DATE:
8/19/2017 9:12:43 AM

FILE LOCATION:
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Greystone\A3.3 Exterior Elevations.dwg

SHEET DESCRIPTION:
EXTERIOR ELEVATIONS

PROJECT NO.
1728

SCALE:
1/8" = 1'-0"

DRAWING NO.
A3.3



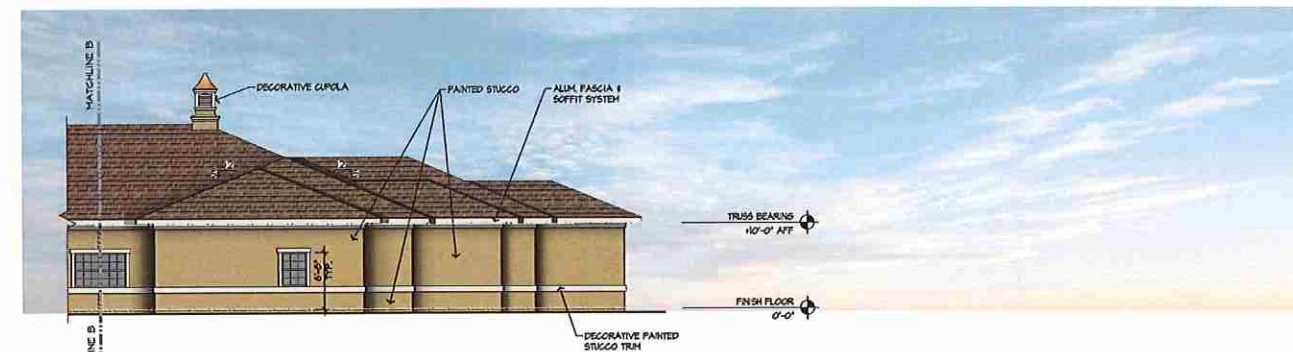
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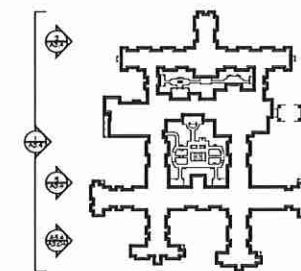
PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
NOT TO SCALE

PROPOSED:
**GREYSTONE-
180 BED
SKILLED
NURSING
FACILITY**

ORANGE CO., FLORIDA

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CONCEPT:	
SCHEMATIC DESIGN:	
PRELIMINARY DESIGN:	
DESIGN DEVELOPMENT:	
PERMIT SET:	
BID SET:	
FOR CONSTRUCTION:	
REVISIONS:	

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C:\Arch\Rendering\2D Elevations\A3.4 A3.4 Exterior Elevations -
Greystone A3.4 A3.4 Exterior Elevations.dwg

SHEET DESCRIPTION:
EXTERIOR ELEVATIONS

PROJECT NO.
1728

SCALE:
1/8" = 1'-0"

DRAWING NO.

A3.4

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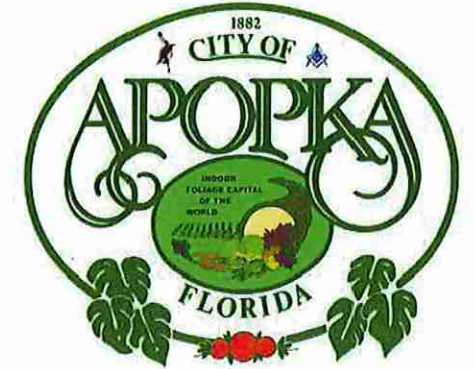
MASTER/PRELIMINARY DEVELOPMENT/PRELIMINARY SUBDIVISION PLAN

GREYSTONE SKILLED NURSING FACILITY

CITY OF APOPKA, FLORIDA

PREPARED FOR

ALSTON BAY BLVD., LLC 4042 PARK OAKS BOULEVARD, SUITE 300 TAMPA, FL 33610 813-675-2325



Greystone Health Network

LEGAL DESCRIPTION

Total Parcel: (Tract G)

Tract G, EMERSON PARK, according to the plat thereof, as recorded in Plat Book 68, Pages 1 through 17 of the Public Records of Orange County, Florida.

Containing 24.08 acres more or less and being subject to any rights-of-way, restrictions and easements of record.

Nursing Facility Parcel:

That part of Tract G, EMERSON PARK, according to the plat thereof, as recorded in Plat Book 68, Pages 1 through 17 of the Public Records of Orange County, Florida, described as follows:

BEGIN at the Southwest corner of said Tract G; thence N17°47'54"E along the West line of said Tract G, a distance of 488.05 feet to the point of curvature of a curve concave Westward having a radius of 1029.93 feet and a chord bearing of N09°30'39"E; thence Northerly along said West line and the arc of said curve through a central angle of 16°34'31" for a distance of 297.95 feet to a radial line; thence departing said West line run S88°46'37"E, 149.91 feet; thence S72°10'07"E, 309.95 feet; thence S40°31'28"E, 74.62 feet; thence S71°11'27"E, 53.25 feet to the Easterly line of said Tract G and a point on a non-tangent curve concave Easterly having a radius of 547.50 feet and a chord bearing of S14°38'50"W; thence run the following four (4) courses along said Easterly line and the Southerly line of said Tract G: Southerly along the arc of said curve through a central angle of 09°13'49" for a distance of 88.20 feet to the point of tangency; thence S09°59'58"W, 241.43 feet to the point of curvature of a curve concave Northwesterly having a radius of 402.50 feet and a chord bearing of S56°53'50"W; thence Southwesterly along the arc of said curve through a central angle of 97°47'49" for a distance of 687.02 feet to the point of tangency; thence N72°12'15"W, 188.47 feet to the POINT OF BEGINNING.

Containing 9.766 acres more or less and being subject to any rights-of-way, restrictions and easements of record.

OWNER

RESIDENTS AT EMERSON PARK, LLC
7940 VIA DELLAGIO WAY SUITE 200
ORLANDO, FLORIDA 32819

APPLICANT

ALSTON BAY BLVD., LLC
4042 PARK OAKS BOULEVARD SUITE 300
TAMPA, FL 33610

CONSULTANTS

ENGINEER/SURVEYOR:

DONALD W. MCINTOSH ASSOCIATES, INC.
2200 PARK AVENUE NORTH
WINTER PARK, FLORIDA 32789
407.644.4068
CONTACT: MICHAEL FARRELL, P.E.

ARCHITECT:

ARCHITECTURAL CONCEPTS, INC.
2301 WEST BAY DRIVE, BLDG. 500
LARGO, FLORIDA 33770
727.584.7178
CONTACT: BO RUSS

LANDSCAPE CONSULTANT:

FOSTER CONANT & ASSOCIATES, INC.
120 WEST ROBINSON STREET
ORLANDO, FLORIDA 32801-1617
407.648.2225
CONTACT: RICHARD CONANT, FASLA

LIGHTING CONSULTANT:

MPS ENGINEERING
240 PINE AVENUE NORTH,
COLDS, FLORIDA 34677
813.855.2721
RANDY SHANNON

ENVIRONMENTAL CONSULTANT:

TERRACON
1675 LEE ROAD
WINTER PARK, FL 32789
CONTACT: DAVID DICKSON

GEOTECHNICAL CONSULTANT:

TERRACON
1675 LEE ROAD
WINTER PARK, FLORIDA 32789
407.740.6110
CONTACT: BRUCE WOLOSHIN, P.E.

TRANSPORTATION CONSULTANT:

LUKE TRANSPORTATION
ENGINEERING CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32801
407.423.8055
CONTACT: TONY LUKE, P.E.

UTILITY PROVIDERS

POTABLE WATER, WASTEWATER, AND RECLAIMED:

CITY OF APOPKA
748 EAST CLEVELAND STREET
APOPKA, FLORIDA 32704-1229
PH: 407.703.1731

ELECTRICITY:

DUKE ENERGY
3250 BONNET CREEK PARKWAY
BOX 10000
LAKE BUENA VISTA, FLORIDA 32830
PH: 407.905.3321

TELECOMMUNICATIONS:

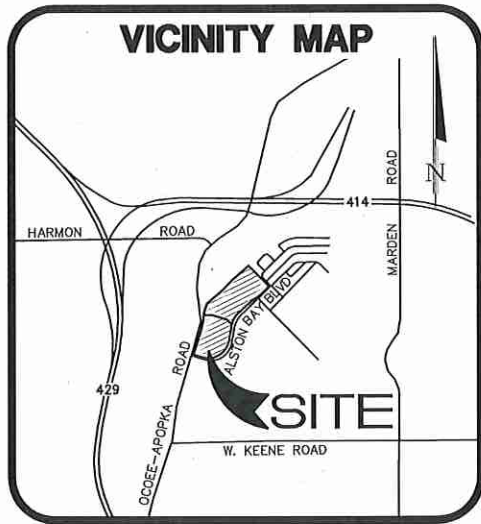
CENTURYLINK
33 NORTH MAIN STREET
WINTER GARDEN, FL 34787
PH: 407.814.5293

CABLE TELEVISION:

SPECTRUM (AKA CHARTER COMMUNICATIONS)
3767 ALL AMERICAN BOULEVARD
ORLANDO, FLORIDA 32810
PH: 407.532-8511

NATURAL GAS:

LAKE APOPKA NATURAL GAS
1320 WINTER GARDEN-VINELAND ROAD
WINTER GARDEN, FLORIDA 34787
PH: 407.656.2734



SECTION 20, TOWNSHIP 21 S, RANGE 28 E
PROPERTY APPRAISER PARCEL ID # 20-21-28-2522-00-007

REVISED MAY 22, 2018 DECEMBER 21, 2017



DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068
CERTIFICATE OF AUTHORIZATION NO. 68

SHEET INDEX

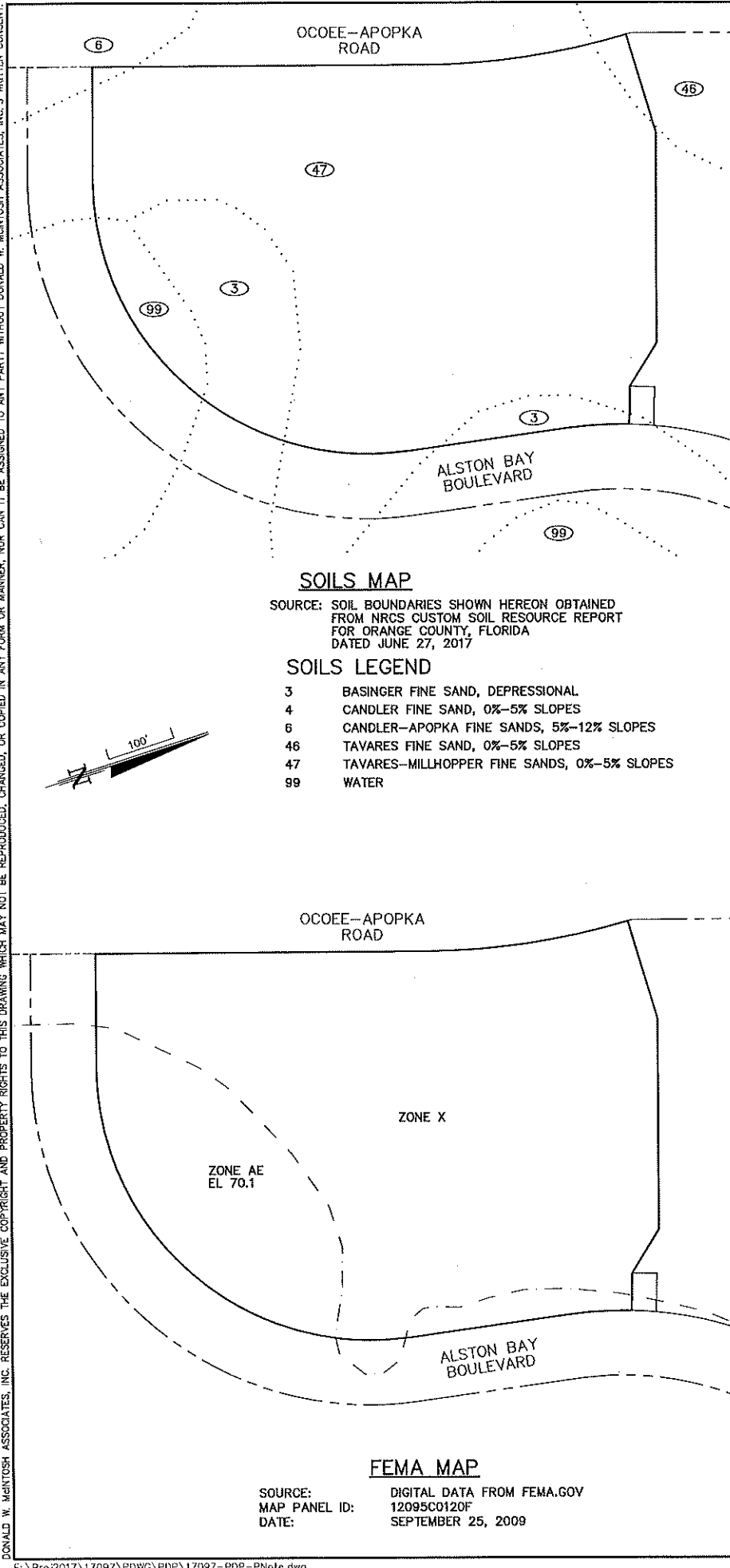
1	COVER SHEET
2	SITE DATA AND GENERAL NOTES
3	OVERALL MASTER PLAN
4	EXISTING CONDITIONS PLAN
5	SUBDIVISION PLAN
6	SITE PLAN
7	PAVING, GRADING & DRAINAGE PLAN
8	UTILITY PLAN
9	EMERGENCY ACCESS PLAN
ADDITIONAL PLANS	
SURVEY	
1	BOUNDARY AND TOPOGRAPHIC SURVEY
ARCHITECTURAL	
A1.2	SITE DETAILS
A2.0	OVERALL GENERAL FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
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A3.3	EXTERIOR ELEVATIONS
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LANDSCAPE	
L-001	TREE REMOVAL AND MITIGATION PLAN
L-300	LANDSCAPE PLAN
L-301	PLANT LIST, NOTES & CODE CHART
L-302	PLANTING DETAILS
L-400	IRRIGATION PLAN
L-401	IRRIGATION LEGENDS, SCHEDULES & NOTES
L-402	IRRIGATION DETAILS
L-403	IRRIGATION DETAILS
LIGHTING	
EP1.0	SITE PHOTOMETRIC PLAN
EP1.1	SITE LIGHTING DETAILS

NOT FOR CONSTRUCTION

MICHAEL K. FARRELL, P.E.
FLORIDA P.E. NO. 73231
DATE: _____

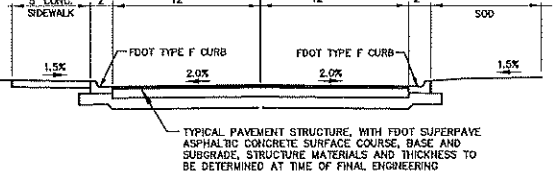
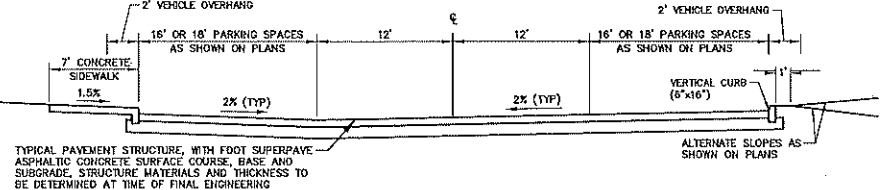
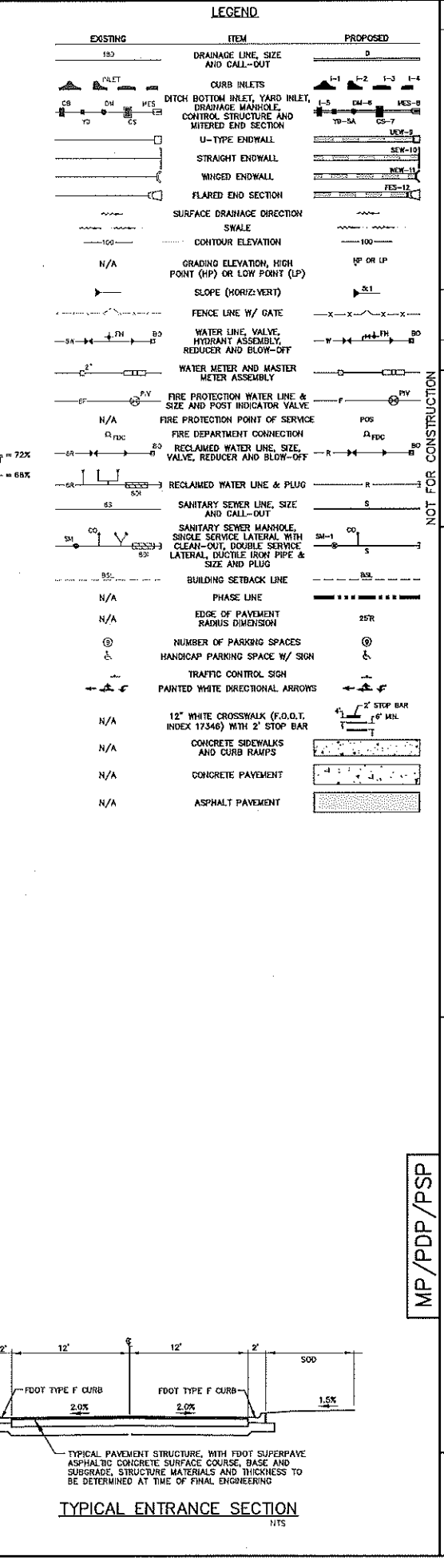
GREYSTONE - SKILLED NURSING FACILITY - PDP-17097 - 12/21/17 - REVISED 05/22/18

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- ### NOTES
- ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING FINAL DEVELOPMENT PLANS APPROVAL PROCESS.
 - FINAL DEVELOPMENT PLANS AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
 - ALL PROPOSED DEVELOPMENT IMPROVEMENTS SHALL CONFORM TO THE CITY OF APOPKA LAND DEVELOPMENT CODE, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS, WATER AND SEWER SYSTEMS, UTILITIES AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS MANUAL.
 - ON-SITE UTILITIES ARE SHOWN AS CONCEPTUAL ONLY, FINAL PLACEMENT WILL BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - ALL PROPOSED UTILITIES (ELECTRICAL, CABLE TV, GAS, TELEPHONE, ETC.) SHALL BE INSTALLED UNDERGROUND. APPURTENANCES TO THESE SYSTEMS THAT ARE REQUIRED TO BE ABOVE GROUND SHALL BE EFFECTIVELY SCREENED.
 - PROJECTED UTILITY CONSUMPTION/IMPACTS AND REQUIRED FIRE FLOW:
 POTABLE WATER DAILY CONSUMPTION = 28,271 GPD (18 GPM)
 REQUIRED FIRE FLOW (ISO) = 2,500 GPM
 RECLAIMED WATER DAILY CONSUMPTION = 2,500 GPM
 WASTEWATER DAILY GENERATION = 22,018 GPD (15 GPM)
 REFUSE DAILY GENERATION = 1,081 LBS/DAY
 - SANITARY WASTE SERVICES WILL BE PROVIDED BY THE CITY OF APOPKA. SANITARY WASTE WILL BE COLLECTED IN A GRAVITY SEWER SYSTEM AND WILL CONNECT TO A NEW PUMP STATION CONSTRUCTED ON THE WEST SIDE OF ALSTON BAY BLVD. THE SANITARY PUMP STATION WILL BE DEDICATED TO, OWNED AND MAINTAINED BY THE CITY OF APOPKA.
 - STORM WATER MANAGEMENT FOR THE SITE WILL BE PROVIDED FOR WITHIN THE EXISTING RETENTION POND, LOCATED ON THE EAST SIDE OF ALSTON BAY BLVD. THE PROJECT SITE TRIBUTARY AREA TO THE EXISTING STORMWATER INFRASTRUCTURE, WAS INCLUDED IN THE MASTER STORMWATER SYSTEM DEVELOPED DURING THE PLANNING OF EMERSON PARK AND PERMITTED UNDER SURVIVAD PERMIT # 4-095-101065.
 - PORTION OF THE SITE IS LOCATED IN ZONE X FLOOD HAZARD ZONE, AND A SMALL PORTION OF THE SITE IS LOCATED IN ZONE AE PER FEMA/FIRM MAP, ORANGE COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120179 0120F, REVISED SEPTEMBER 25, 2009.
 - PER USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM SOIL SURVEY MAPS THE ON-SITE SOILS ARE AS FOLLOWS (SEE MAP ABOVE):
 47 - TAVARES-MILLHOPPER FINE SAND 0-5% SLOPES
 3 - BASINGER FINE SAND DEPRESSIONAL
 - NO EXISTING JURISDICTIONAL WETLANDS OR OTHER POTENTIAL ENVIRONMENTAL CONDITIONS WERE OBSERVED ON-SITE.
 - NO KNOWN EXISTING HISTORICAL STRUCTURES OR OTHER CULTURALLY SIGNIFICANT ARTIFACTS WERE OBSERVED ON-SITE.
 - PRIOR TO COMMENCING CLEARING AND GRADING ACTIVITIES, A HABITAT MANAGEMENT SURVEY AND A PERMIT/LETTER FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION MUST BE RECEIVED, WITH A COPY FORWARDED TO THE CITY OF APOPKA, FOR APPROVAL OF THE GOPHER TORTOISE AND SAND SKINK SURVEY AND ANY REQUIRED REMEDIAL ACTIVITY.
 - TRANSPORTATION IMPACT ASSESSMENT: PER THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION MANUAL, 8TH EDITION, ASSISTED LIVING (254) GENERATES AVERAGE RATES AS FOLLOWS:
 WEEKDAYS: 2.74 TRIPS/BED = 2.74 TRIPS * 180 BEDS = 493 TRIPS
 P.M. PEAK HOURLY: 0.29 TRIPS/BED = (0.29 TRIPS * 180 BEDS) = 52 TRIPS
 - PROJECT LANDSCAPING SHALL MEET STANDARDS SET FORTH IN SECTION 2.09.19(D)(21) OF THE CITY OF APOPKA LAND DEVELOPMENT CODE. LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE 2009", UNLESS OTHERWISE APPROVED BY THE CITY.
 - PROJECT LIGHTING WILL MEET STANDARDS SET FORTH IN THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC) AND THE CITY'S DEVELOPMENT DESIGN GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY. LIGHT POLE FOOTERS CANNOT BE EXPOSED ABOVE GRADE AND DECORATIVE TYPE POLES SHALL BE USED. SITE LIGHTING PLANS WITH POLE AND FIXTURE CUT SHEETS WILL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - PROJECT SIGNAGE SHALL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE, ARTICLE VIII. SIGNAGE PLANS SHALL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - WELLFIELD PROTECTION: THERE ARE NO KNOWN WELL FIELDS WITHIN THE PROJECT AREA.
 - THE CITY OF APOPKA WILL PROVIDE SANITATION SERVICES UNLESS ALTERNATIVE ARRANGEMENTS ARE AGREED UPON BY THE CITY OF APOPKA SOLID WASTE OPERATIONS MANAGER.
 - FIRE RESCUE WILL BE PROVIDED BY THE CITY OF APOPKA FIRE DEPARTMENT. THE FIRE DEPARTMENT IS APPROXIMATELY 2.5 MILES NORTHEAST OF THE DEVELOPMENT, LOCATED ON SOUTH PARK AVENUE. ON-SITE FIRE PROTECTION WILL BE PROVIDED WITH A WATER DISTRIBUTION SYSTEM WITH FIRE HYDRANTS.
 - NO OUTSIDE STORAGE OF PARTS, SUPPLIES, MATERIALS, GOODS OR EQUIPMENT SHALL BE ALLOWED, UNLESS SCREENED FROM VIEW.
 - ALL ACCESSORY STRUCTURES AND USES SHALL CONFORM TO CITY OF APOPKA ARTICLE VII, SECTION 7.01.00 OF THE LDC.
 - ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM ADJACENT PROPERTY AND PUBLIC RIGHT-OF-WAYS.
 - ALL INTERNAL TRAFFIC CONTROL SIGNAGE WILL COMPLY WITH CITY OF APOPKA MUTCD AND FDOT STANDARDS, LATEST EDITIONS AND WILL BE PROVIDED DURING FINAL DEVELOPMENT PLAN APPROVAL PROCESS.
 - FOLLOWING LIST OF PERMITS, BUT NOT LIMITED TO, ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION:
 • CITY OF APOPKA FINAL DEVELOPMENT PLAN APPROVAL
 • FDEP POTABLE WATER SYSTEM DISTRIBUTION PERMIT
 • FDEP WASTEWATER COLLECTION SYSTEM PERMIT
 • ST. JOHNS RIVER WATER MANAGEMENT EIP
 • HDSR PERMITTING (INCLUDING NSI AND HDI)
 • ORANGE COUNTY RIGHT-OF-WAY PERMIT
 - ALL ELEVATIONS REFERENCED ON PLANS ARE NAVD 88.
 - FUTURE DEVELOPMENT OF TRACT G REMAINING LANDS TO BE IN CONFORMANCE WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE MIXED EC ZONING DISTRICT AND DEVELOPMENT DESIGN GUIDELINES.
 - AN ORANGE COUNTY RIGHT OF WAY PERMIT IS REQUIRED FOR WORK WITHIN THE OCOEE-APOPKA RIGHT OF WAY.
 - FIRE HYDRANTS SHALL BE MARKED WITH BLUE ROAD REFLECTORS.

- ### SITE DATA
- THE PROPOSED PROJECT IS A DEVELOPMENT LOCATED ON AN EXISTING VACANT PROPERTY AT THE SOUTHERN PORTION OF TRACT G WITHIN EMERSON PARK SUBDIVISION. THE PROPOSED USE WILL BE A SKILLED NURSING FACILITY WITH 108 UNITS (BEDROOMS) / 180 BEDS. SITE IMPROVEMENTS WILL INCLUDE BUILDINGS, PAVED ROADS, SIDEWALKS, ASSOCIATED UTILITIES, AND LANDSCAPING.
 - PROJECT AREA:
 TRACT G: 1,049,262 SF = ±24.08 ACRES
 DEVELOPMENT AREA: 425,587 SF = ±9.77 ACRES
 REMAINING AREA: 623,681 SF = ±14.31 ACRES
 - PROJECT ADDRESS: 1601 ALSTON BAY BLVD., APOPKA FL
 - EXISTING ZONING: MIXED EC
 - FUTURE LAND USE (FLU) DESIGNATION: MU (MIXED USE)
 - SURROUNDING ZONING:
 NORTH: MIXED EC
 EAST SIDE: MIXED EC
 WEST SIDE: MIXED EC, PUD, I-2
 SOUTH SIDE: MIXED-EC
 - EXISTING LAND USE: VACANT
 - PROPOSED LAND USE: SKILLED NURSING FACILITY
 REMAINING LANDS VACANT
 - SETBACKS:
 SETBACKS REQUIRED
 FRONT: 25 FT
 ALL YARDS ADJACENT TO ROW: 25 FT
 SIDE: 10 FT
 REAR: 10 FT
 - BUILDINGS: 1 BUILDINGS = 108 BEDROOMS
 - BUILDING GROSS SQUARE FOOTAGE: 108,567 SF
 - BUILDING FRONTAGE:
 MINIMUM REQUIRED: 65%
 PROVIDED: ALSTON BAY BOULEVARD = BUILDING FRONTAGE = 856FT = 72%
 APOPKA-OCOEE ROAD = BUILDING FRONTAGE = 536FT = 68%
 - FLOOR AREA RATIO:
 REQUIRED: 25% (MIN) 100% MAX
 PROVIDED: (108,567 SF / 425,587 SF) X 100 = 25.5%
 - BUILDING DENSITY:
 ALLOWABLE: 15 UNITS / AC
 PROVIDED: 1 UNITS/9.77 AC = .10 UNITS / AC
 - BUILDING HEIGHT:
 ALLOWABLE: 35'
 PROVIDED: < 35'
 - PROJECTED NUMBER OF EMPLOYEES: 180 PEOPLE (3 SHIFTS)
 - REQUIRED VEHICULAR PARKING:
 SPACES SHALL COMPLY WITH ARTICLE VI OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
 2 SPACES PER BEDROOM (108 BEDROOMS * 2 SPACES) = 216 PARKING SPACES
 PLUS SPACES FOR EMERGENCY VEHICLES = 2 PARKING SPACES
 TOTAL REQUIRED PARKING SPACES: 218 PARKING SPACES
 - PROVIDED VEHICLE PARKING:
 ON SITE PARKING: = 216 PARKING SPACES
 PLUS SPACES FOR EMERGENCY VEHICLES: = 2 PARKING SPACES
 TOTAL PROVIDED PARKING SPACES: = 218 PARKING SPACES
 - ADA HANDICAP PARKING:
 REQUIRED: 7 HANDICAP PARKING SPACES
 PROVIDED: 10 HANDICAP PARKING SPACES
 - DEF STREET LOADING: 1 SPACE PER 100,000 SF PER ARTICLE VI SECTION 6.03.03-GENERAL OF THE CITY OF APOPKA LDC
 REQUIRED: 1 LOADING SPACE (10' X 25')
 PROVIDED: 1 LOADING SPACE (10' X 50')
 - REQUIRED OPEN SPACE PER ARTICLE II SECTION 2.02.20.B.11 AND 2.02.18.D.19.b.-GENERAL OF THE CITY OF APOPKA LDC IS A MINIMUM OF 20%
 MINIMUM REQUIRED: (425,587 SF * 20%) = 85,116 SF = 1.95 ACRES
 PROVIDED: 199,504 SF = 4.58 ACRES (46.6%)
 - IMPERVIOUS AREA: MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO IS 80% PER CITY OF APOPKA LDC.
 MAXIMUM ALLOWED: (425,587 SF * 80%) = 340,469 SF = 7.82 ACRES
 PROPOSED: BUILDINGS (FOOTPRINT) = 108,567 SF = 2.49 ACRES = 25.5%
 PAVEMENT, SIDEWALKS, ETC. = 117,612 SF = 2.70 ACRES = 27.6%
 TOTAL IMPERVIOUS SURFACE = 226,179 SF = 5.19 ACRES = 53.1%
 - RECREATION (PASSIVE AND/OR ACTIVE) (9.77 AC) x (15%) = 1.47 AC
 MINIMUM REQUIRE 15%
 PROVIDED: (PASSIVE) ±2.00 AC
 - ALL POWER SERVICES ARE TO BE PROVIDED UNDERGROUND. HO OVERHEAD SERVICE WILL BE ALLOWED.
 - A REPLAT OF THE PROPERTY WILL BE REQUIRED PRIOR TO CERTIFICATION OF OCCUPANCY. A PLAT WILL BE REQUIRED WITH FINAL DEVELOPMENT PLANS.



NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS
2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068
CERTIFICATE OF AUTHORIZATION NO. 66

GREYSTONE
SKILLED NURSING FACILITY
CITY OF APOPKA, FLORIDA

MP/PDP/PSP

SITE DATA AND GENERAL NOTES

DRAWN BY	PEA	DESIGNED BY	MAB	CHECKED BY	NKF	DATE	12/21/17	SCALE	AS SHOWN	JOB NUMBER	17097
DATE	4/23/18	PER CITY OF APOPKA COMMENTS	NO.	DATE	5/22/18	PER CITY OF APOPKA COMMENTS	NO.	DATE	4/23/18	PER CITY OF APOPKA COMMENTS	NO.

MICHAEL K. FARRELL, P.E.
FLORIDA P.E. No. 75231

DRAFTING 17097-PDP-Plan
SHEET 2 OF 9

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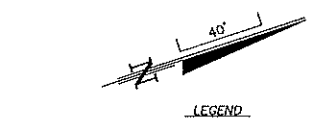
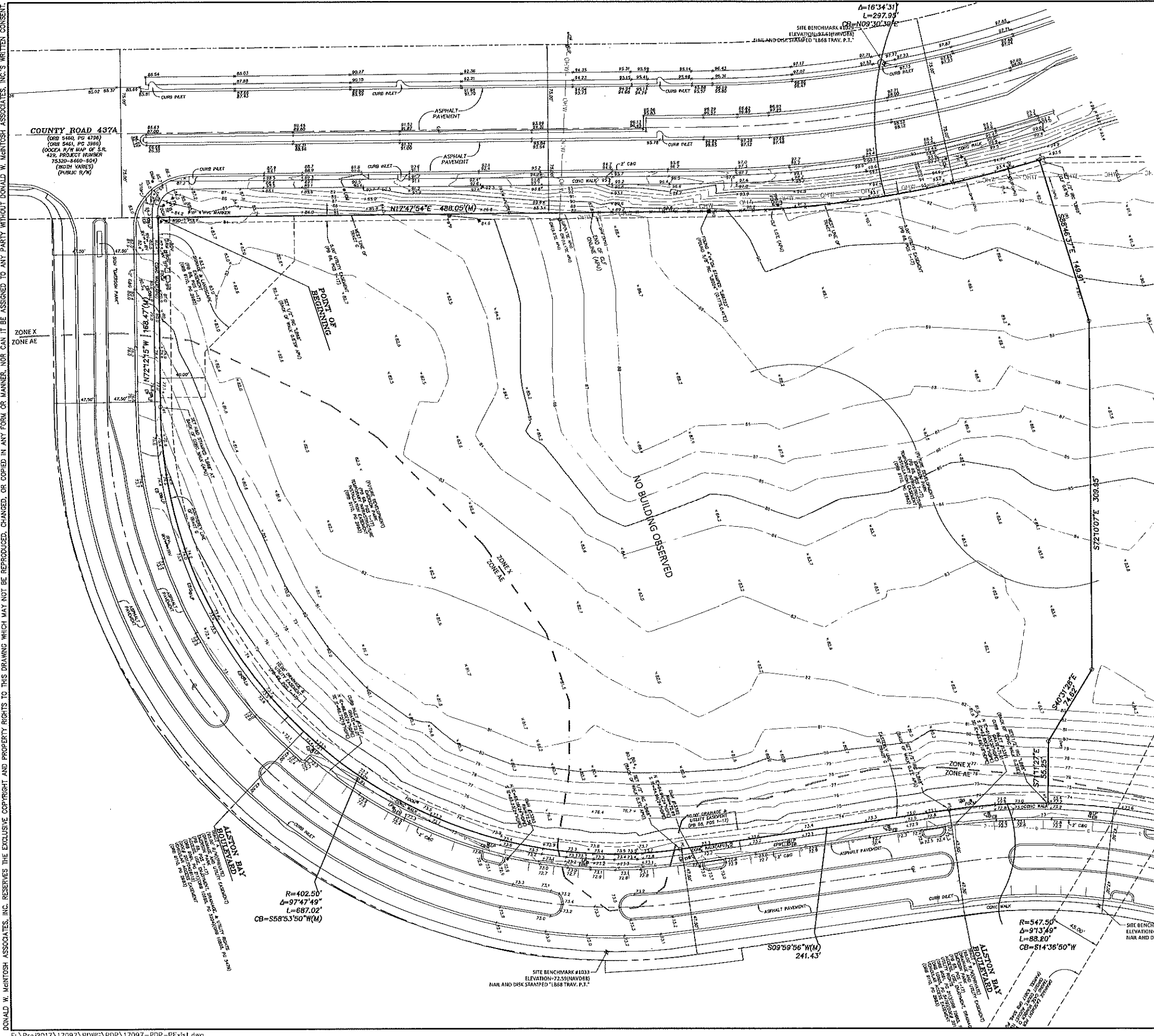


- GENERAL NOTES:
- SEE SITE DATA AND GENERAL NOTES SHEET (SHT 2) FOR ADDITIONAL INFORMATION.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

MP/PDP/PSP		NOT FOR CONSTRUCTION	
DRAWING 17097-PDP-PAerial.dwg	GREYSTONE SKILLED NURSING FACILITY CITY OF APOPKA, FLORIDA	DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068 CERTIFICATE OF AUTHORIZATION NO. 68	SURVEYORS MICHAEL K. FARRELL, P.E. FLORIDA P.E. NO. 73231 DATE: _____
DESIGNED BY PEA	CHECKED BY MAB	SCALE 1"=100'	JOB NUMBER 17097
DRAWN BY	DATE 12/21/17	CERTIFICATE OF AUTHORIZATION NO. 68	NO. DATE
OVERALL MASTER PLAN	MKF	PER CITY OF APOPKA COMMENTS	REVISIONS
SHEET	3	1	4/23/18
3 OF 9		CHK.	MNF

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NOTE: THIS SHEET IS INCLUDED IN THE CONSTRUCTION PLANS FOR INFORMATION ONLY. ENGINEER'S CERTIFICATION DOES NOT INCLUDE SURVEY.



SYMBOLS		ABBREVIATIONS	
11	LINE NUMBER (SEE LINE TABLE)	A/C	ASB COVER BENCH
12	CURVE NUMBER (SEE CURVE TABLE)	APPROX	APPROXIMATE
13	APPROXIMATE	ASPH	ASPHALT
14	RADIUS	ASPH	ASPHALT
15	ARC LENGTH	ASPH	ASPHALT
16	CHORD BEARING	ASPH	ASPHALT
17	CHORD BEARING	ASPH	ASPHALT
18	TANGENT BEARING	ASPH	ASPHALT
19	TANGENT BEARING	ASPH	ASPHALT
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99	TANGENT BEARING	ASPH	ASPHALT
100	TANGENT BEARING	ASPH	ASPHALT

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS SURVEYORS
 2820 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068
 CERTIFICATE OF AUTHORIZATION NO. 68

GREYSTONE
 SKILLED NURSING FACILITY
 CITY OF APOPKA, FLORIDA
 EXISTING CONDITIONS PLAN

DRAWING 17097-PDP-PEst
 SHEET 4 OF 9

NO.	DATE	REVISIONS
1	4/23/18	PER CITY OF APOPKA COMMENTS

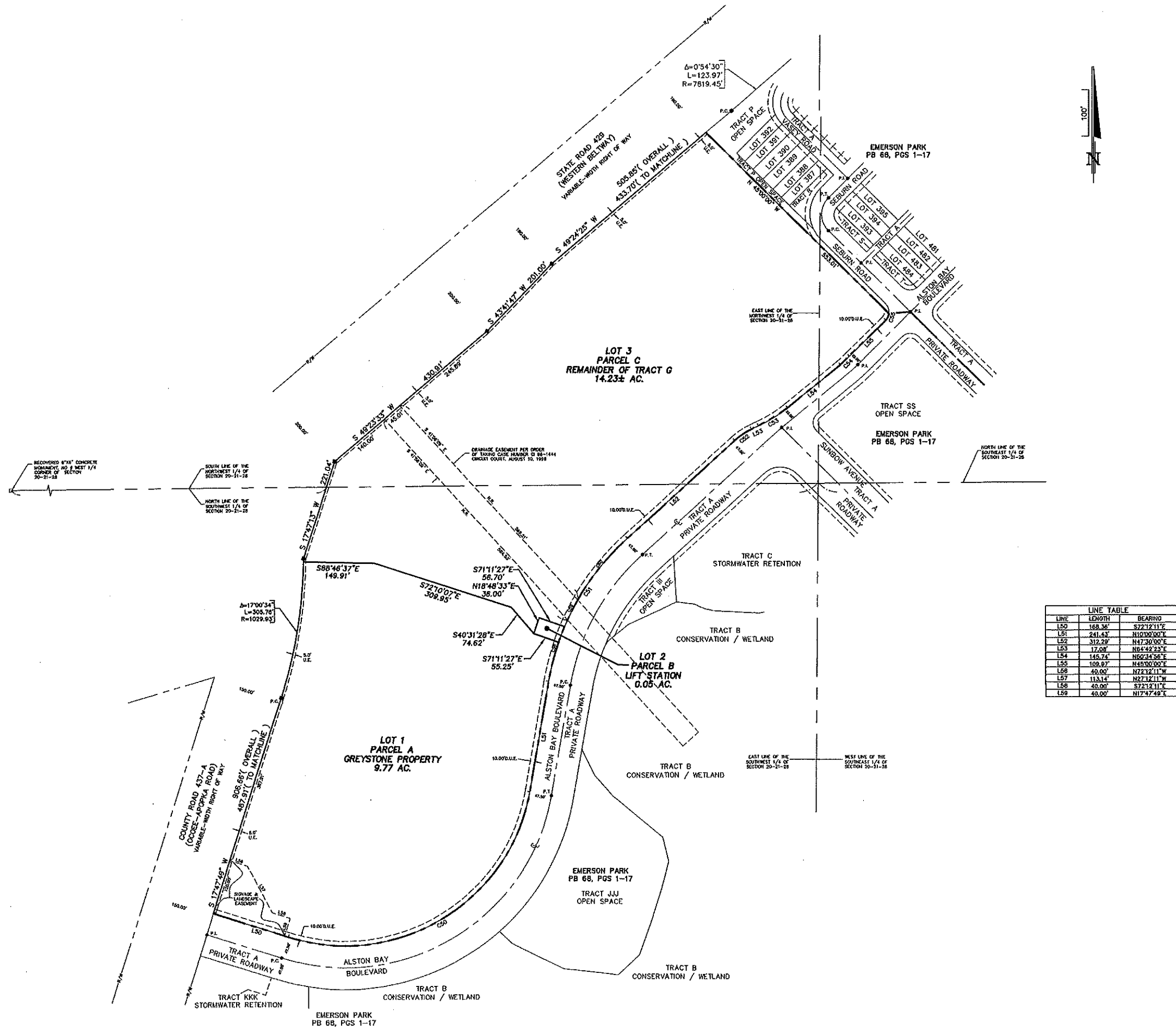
DATE: _____
 MICHAEL K. FARRELL, P.E.
 FLORIDA P.E. NO. 75231

CHECKED BY: _____
 DATE: 12/21/17
 SCALE: 1"=80'

DESIGNED BY: _____
 DATE: 12/21/17
 SCALE: 1"=80'

DRAWN BY: PEA
 MAB
 17097

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MP/PDP/PSP

GREYSTONE SKILLED NURSING FACILITY

CITY OF APOPKA, FLORIDA

SUBDIVISION PLAN

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS PLANNERS SURVEYORS
 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4058

CERTIFICATE OF AUTHORIZATION NO. 68

CHECKED BY: MKE
 DESIGNED BY: MAB
 DRAWN BY: PEA

DATE: 12/21/17
 SCALE: 1"=100'

JOB NUMBER: 17097

DATE: _____

NO. DATE REVISIONS

1	4/23/19	PER CITY OF APOPKA COMMENTS	MKF
2	5/22/19	PER CITY OF APOPKA COMMENTS	MKF

MICHAEL K. FARRELL, P.E.
 FLORIDA P.E. No. 73231

DRAWING: 17097-PDP-PSP

SHEET: 5 OF 9

EMERSON PARK PB 68, PGS 1-17

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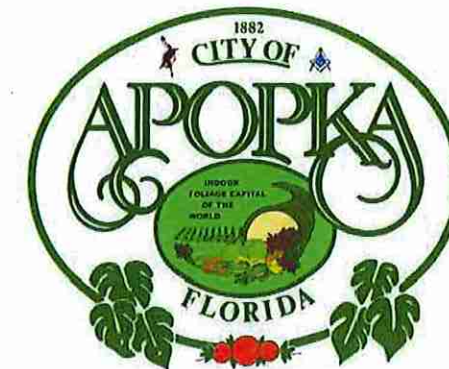
MASTER/PRELIMINARY DEVELOPMENT/PRELIMINARY SUBDIVISION PLAN

GREYSTONE SKILLED NURSING FACILITY

CITY OF APOPKA, FLORIDA

PREPARED FOR

ALSTON BAY BLVD., LLC 4042 PARK OAKS BOULEVARD, SUITE 300 TAMPA, FL 33610 813-675-2325



Greystone Health Network

LEGAL DESCRIPTION

Total Parcel: (Tract G)

Tract G, EMERSON PARK, according to the plat thereof, as recorded in Plat Book 68, Pages 1 through 17 of the Public Records of Orange County, Florida.

Containing 24.08 acres more or less and being subject to any rights-of-way, restrictions and easements of record.

Nursing Facility Parcel:

That part of Tract G, EMERSON PARK, according to the plat thereof, as recorded in Plat Book 68, Pages 1 through 17 of the Public Records of Orange County, Florida, described as follows:

BEGIN at the Southwest corner of said Tract G, thence N17°47'54"E along the West line of said Tract G, a distance of 488.05 feet to the point of curvature of a curve concave Westward having a radius of 1029.93 feet and a chord bearing of N09°30'39"E; thence Northerly along said West line and the arc of said curve through a central angle of 16°34'31" for a distance of 297.95 feet to a radial line; thence departing said West line run S88°40'37"E, 149.91 feet; thence S72°10'07"E, 309.95 feet; thence S40°31'28"E, 74.62 feet; thence S71°11'27"E, 55.25 feet to the Easterly line of said Tract G and a point on a non-tangent curve concave Easterly having a radius of 547.50 feet and a chord bearing of S14°38'50"W; thence run the following four (4) courses along said Easterly line and the Southerly line of said Tract G: Southerly along the arc of said curve through a central angle of 09°13'49" for a distance of 88.20 feet to the point of tangency; thence S09°59'56"W, 241.43 feet to the point of curvature of a curve concave Northwesterly having a radius of 402.50 feet and a chord bearing of S58°53'50"W; thence Southwesterly along the arc of said curve through a central angle of 97°47'49" for a distance of 687.02 feet to the point of tangency; thence N72°12'15"W, 168.47 feet to the POINT OF BEGINNING.

Containing 9.766 acres more or less and being subject to any rights-of-way, restrictions and easements of record.

OWNER

RESIDENTS AT EMERSON PARK, LLC
7940 VIA DELLAGIO WAY SUITE 200
ORLANDO, FLORIDA 32819

APPLICANT

ALSTON BAY BLVD., LLC
4042 PARK OAKS BOULEVARD SUITE 300
TAMPA, FL 33610

CONSULTANTS

ENGINEER/SURVEYOR:

DONALD W. MCINTOSH ASSOCIATES, INC.
2200 PARK AVENUE NORTH
WINTER PARK, FLORIDA 32789
407.644.4068
CONTACT: MICHAEL FARRELL, P.E.

ARCHITECT:

ARCHITECTURAL CONCEPTS, INC.
2301 WEST BAY DRIVE, BLDG. 500
LARGO, FLORIDA 33770
727.584.7178
CONTACT: BO RUSS

LANDSCAPE CONSULTANT:

FOSTER CONANT & ASSOCIATES, INC.
120 WEST ROBINSON STREET
ORLANDO, FLORIDA 32801-1617
407.648.2225
CONTACT: RICHARD CONANT, FASLA

LIGHTING CONSULTANT:

MPS ENGINEERING
240 PINE AVENUE NORTH,
COLDS, FLORIDA 34677
813.855.2721
RANDY SHANNON

ENVIRONMENTAL CONSULTANT:

TERRACON
1675 LEE ROAD
WINTER PARK, 32789
CONTACT: DAVID DICKSON

GEOTECHNICAL CONSULTANT:

TERRACON
1675 LEE ROAD
WINTER PARK, FLORIDA 32789
407.740.8110
CONTACT: BRUCE WOLOSIN, P.E.

TRANSPORTATION CONSULTANT:

LUKE TRANSPORTATION
ENGINEERING CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32801
407.423.8055
CONTACT: TONY LUKE, P.E.

UTILITY PROVIDERS

POTABLE WATER, WASTEWATER, AND RECLAIMED:

CITY OF APOPKA
748 EAST CLEVELAND STREET
APOPKA, FLORIDA 32704-1229
PH: 407.703.1731

ELECTRICITY:

DUKE ENERGY
3250 BONNET CREEK PARKWAY
BOX 10000
LAKE BUENA VISTA, FLORIDA 32830
PH: 407.905.3321

TELECOMMUNICATIONS:

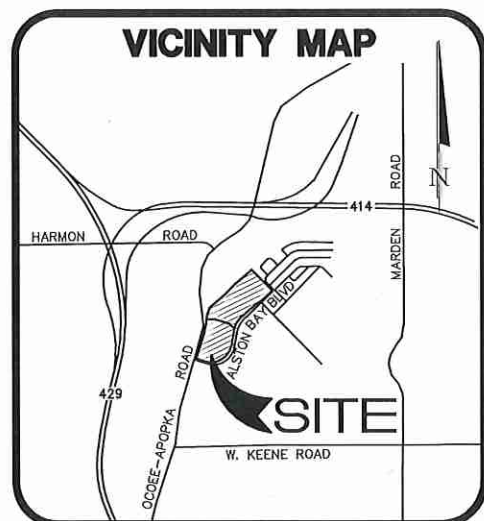
CENTURYLINK
33 NORTH MAIN STREET
WINTER GARDEN, FL 34787
PH: 407.814.5293

CABLE TELEVISION:

SPECTRUM (AKA CHARTER COMMUNICATIONS)
3767 ALL AMERICAN BOULEVARD
ORLANDO, FLORIDA 32810
PH: 407.532-8511

NATURAL GAS:

LAKE APOPKA NATURAL GAS
1320 WINTER GARDEN-VINELAND ROAD
WINTER GARDEN, FLORIDA 34787
PH: 407.656.2734



SECTION 20, TOWNSHIP 21 S, RANGE 28 E
PROPERTY APPRAISER PARCEL ID # 20-21-28-2522-00-007

REVISED MAY 22, 2018 DECEMBER 21, 2017



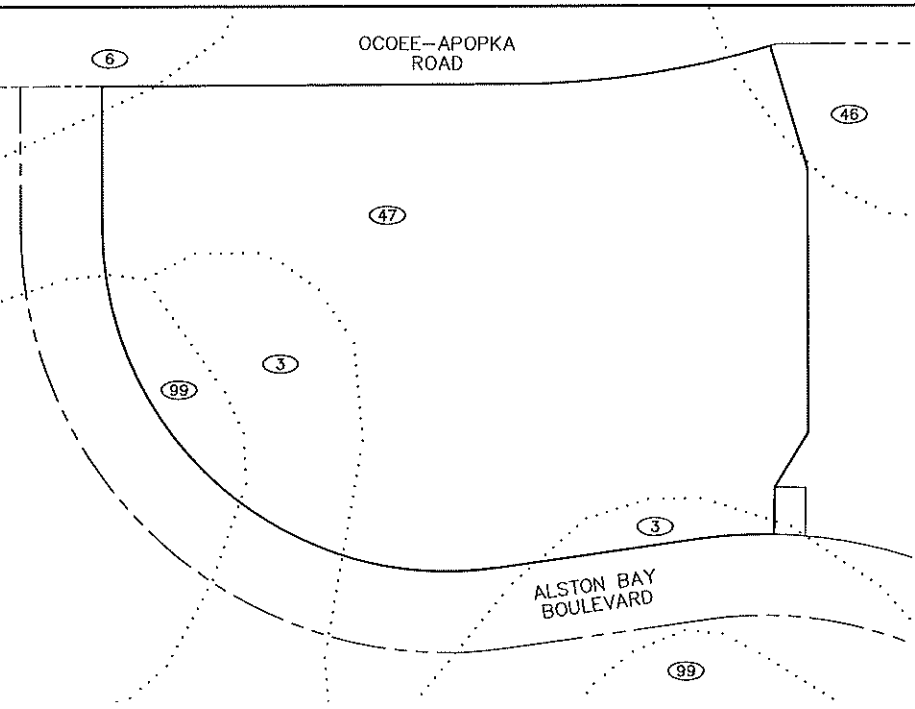
DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068
CERTIFICATE OF AUTHORIZATION NO. 68

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4	EXISTING CONDITIONS PLAN
5	SUBDIVISION PLAN
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7	PAVING, GRADING & DRAINAGE PLAN
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9	EMERGENCY ACCESS PLAN
ADDITIONAL PLANS	
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ARCHITECTURAL	
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A2.0	OVERALL GENERAL FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
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LANDSCAPE	
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L-300	LANDSCAPE PLAN
L-301	PLANT LIST, NOTES & CODE CHART
L-302	PLANTING DETAILS
L-400	IRRIGATION PLAN
L-401	IRRIGATION LEGENDS, SCHEDULES & NOTES
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L-403	IRRIGATION DETAILS
LIGHTING	
EP1.0	SITE PHOTOMETRIC PLAN
EP1.1	SITE LIGHTING DETAILS

GREYSTONE - SKILLED NURSING FACILITY - PDP-17097 - 12/21/17 - REVISED 05/22/18

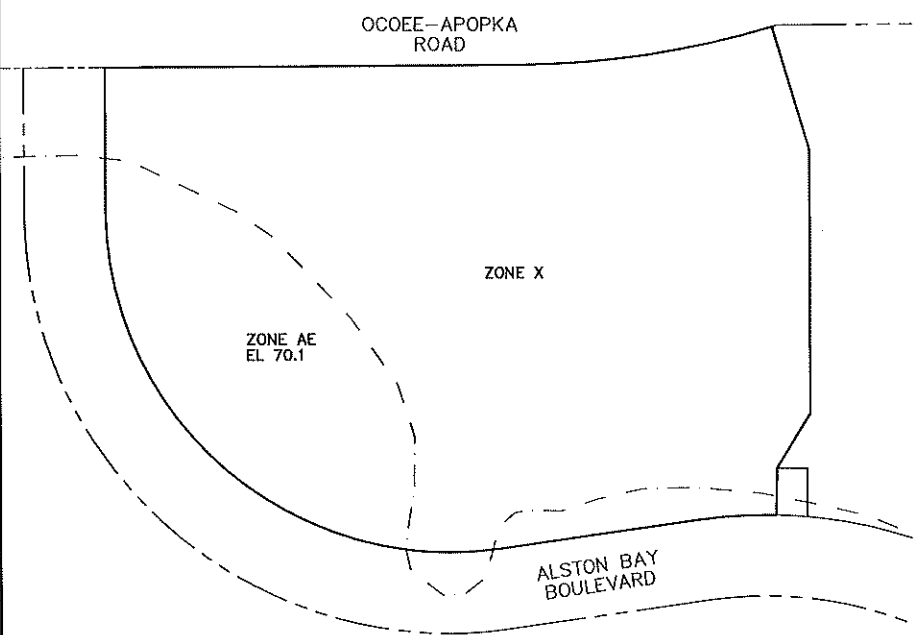
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SOILS MAP
 SOURCE: SOIL BOUNDARIES SHOWN HEREON OBTAINED FROM NRCS CUSTOM SOIL RESOURCE REPORT FOR ORANGE COUNTY, FLORIDA DATED JUNE 27, 2017

SOILS LEGEND

3	BASINGER FINE SAND, DEPRESSIONAL
4	CANDLER FINE SAND, 0%-5% SLOPES
6	CANDLER-APOPKA FINE SANDS, 5%-12% SLOPES
46	TAVARES FINE SAND, 0%-5% SLOPES
47	TAVARES-MILLHOPPER FINE SANDS, 0%-5% SLOPES
99	WATER



FEMA MAP
 SOURCE: DIGITAL DATA FROM FEMA.GOV
 MAP PANEL ID: 12095C0120F
 DATE: SEPTEMBER 25, 2009

NOTES

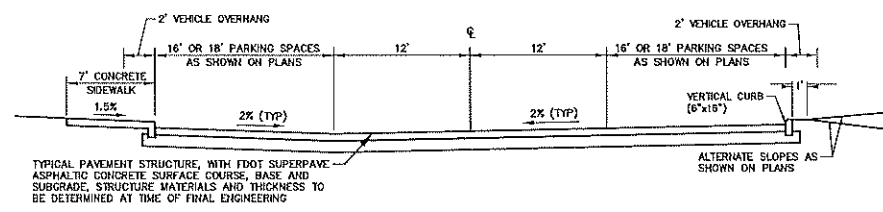
- ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING FINAL DEVELOPMENT PLANS APPROVAL PROCESS.
- FINAL DEVELOPMENT PLANS AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
- ALL PROPOSED DEVELOPMENT IMPROVEMENTS SHALL CONFORM TO THE CITY OF APOPKA LAND DEVELOPMENT CODE, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS, WATER AND SEWER SYSTEMS, UTILITIES AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS MANUAL.
- ONSITE UTILITIES ARE SHOWN AS CONCEPTUAL ONLY. FINAL PLACEMENT WILL BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
- ALL PROPOSED UTILITIES (ELECTRICAL, CABLE TV, GAS, TELEPHONE, ETC.) SHALL BE INSTALLED UNDERGROUND. APPURTENANCES TO THESE SYSTEMS THAT ARE REQUIRED TO BE ABOVE GROUND SHALL BE EFFECTIVELY SCREENED.
- PROJECTED UTILITY CONSUMPTION/IMPACTS AND REQUIRED FIRE FLOW:
 POTABLE WATER DAILY CONSUMPTION = 28,271 GPD (18 GPM)
 REQUIRED FIRE FLOW (ISO) = 2,500 GPM
 RECLAIMED WATER DAILY CONSUMPTION = WASTEWATER DAILY GENERATION = 22,018 GPD (15 GPM)
 REFUSE DAILY GENERATION = 1,081 LBS/DAY
- SANITARY WASTE SERVICES WILL BE PROVIDED BY THE CITY OF APOPKA. SANITARY WASTE WILL BE COLLECTED IN A GRAVITY SEWER SYSTEM AND WILL CONNECT TO A NEW PUMP STATION CONSTRUCTED ON THE WEST SIDE OF ALSTON BAY BLVD. THE SANITARY PUMP STATION WILL BE DEDICATED TO, OWNED AND MAINTAINED BY THE CITY OF APOPKA.
- STORM WATER MANAGEMENT FOR THE SITE WILL BE PROVIDED FOR WITHIN THE EXISTING RETENTION POND, LOCATED ON THE EAST SIDE OF ALSTON BAY BLVD. THE PROJECT SITE TRIBUTARY AREA TO THE EXISTING STORMWATER INFRASTRUCTURE WAS INCLUDED IN THE MASTER STORMWATER SYSTEM DEVELOPED DURING THE PLANNING OF EMERSON PARK AND PERMITTED UNDER SRWMD PERMIT # 4-095-101065.
- PORTION OF THE SITE IS LOCATED IN ZONE X FLOOD HAZARD ZONE, AND A SMALL PORTION OF THE SITE IS LOCATED IN ZONE AE PER FEMA/FIRM MAP, ORANGE COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120179 0120F, REVISED SEPTEMBER 23, 2009.
- PER USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM SOIL SURVEY MAPS THE ONSITE SOILS ARE AS FOLLOWS (SEE MAP ABOVE):
 3 -- TAVARES-MILLHOPPER FINE SAND 0-5% SLOPES
 4 -- BASINGER FINE SAND DEPRESSIONAL
- NO EXISTING JURISDICTIONAL WETLANDS OR OTHER POTENTIAL ENVIRONMENTAL CONDITIONS WERE OBSERVED ONSITE.
- NO KNOWN EXISTING HISTORICAL STRUCTURES OR OTHER CULTURALLY SIGNIFICANT ARTIFACTS WERE OBSERVED ONSITE.
- PRIOR TO COMMENCING CLEARING AND GRADING ACTIVITIES, A HABITAT MANAGEMENT SURVEY AND A PERMIT/LETTER FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION MUST BE RECEIVED, WITH A COPY FORWARDED TO THE CITY OF APOPKA, FOR APPROVAL OF THE GOPHER TORTOISE AND SAND SKINK SURVEY AND ANY REQUIRED REMEDIAL ACTIVITY.
- TRANSPORTATION IMPACT ASSESSMENT: PER THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION MANUAL, 9TH EDITION, ASSISTED LIVING (254) GENERATES AVERAGE RATES AS FOLLOWS:
 WEEKDAYS: 2.74 TRIPS/BERD * 2.74 TRIPS * 180 BEDS = 493 TRIPS
 P.M. PEAK HOURLY: 0.29 TRIPS/BERD * 0.29 TRIPS * 180 BEDS = 52 TRIPS
- PROJECT LANDSCAPING SHALL MEET STANDARDS SET FORTH IN SECTION 2.09.19(2)(21) OF THE CITY OF APOPKA LAND DEVELOPMENT CODE. LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE 2009". UNLESS OTHERWISE APPROVED BY THE CITY.
- PROJECT LIGHTING WILL MEET STANDARDS SET FORTH IN THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC) AND THE CITY'S DEVELOPMENT DESIGN GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY. LIGHT POLE FOOTERS CANNOT BE EXPOSED ABOVE GRADE AND DECORATIVE TYPE POLES SHALL BE USED. SITE LIGHTING PLANS WITH POLE AND FIXTURE CUT SHEETS WILL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
- PROJECT SIGNAGE SHALL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE, ARTICLE VIII. SIGNAGE PLANS SHALL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
- WELLFIELD PROTECTION: THERE ARE NO KNOWN WELL FIELDS WITHIN THE PROJECT AREA.
- THE CITY OF APOPKA WILL PROVIDE SANITATION SERVICES UNLESS ALTERNATIVE ARRANGEMENTS ARE AGREED UPON BY THE CITY OF APOPKA SOLID WASTE OPERATIONS MANAGER.
- FIRE RESCUE WILL BE PROVIDED BY THE CITY OF APOPKA FIRE DEPARTMENT. THE FIRE DEPARTMENT IS APPROXIMATELY 2.5 MILES NORTHEAST OF THE DEVELOPMENT, LOCATED ON SOUTH PARK AVENUE. ONSITE FIRE PROTECTION WILL BE PROVIDED WITH A WATER DISTRIBUTION SYSTEM WITH FIRE HYDRANTS.
- NO OUTSIDE STORAGE OF PARTS, SUPPLIES, MATERIALS, GOODS OR EQUIPMENT SHALL BE ALLOWED, UNLESS SCREENED FROM VIEW.
- ALL ACCESSORY STRUCTURES AND USES SHALL CONFORM TO CITY OF APOPKA ARTICLE VII, SECTION 7.01.00 OF THE LDC.
- ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM ADJACENT PROPERTY AND PUBLIC RIGHT-OF-WAYS.
- ALL INTERNAL TRAFFIC CONTROL SIGNAGE WILL COMPLY WITH CITY OF APOPKA MUTCD AND FDOT STANDARDS, LATEST EDITIONS AND WILL BE PROVIDED DURING FINAL DEVELOPMENT PLAN APPROVAL PROCESS.
- FOLLOWING LIST OF PERMITS, BUT NOT LIMITED TO, ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION:
 • CITY OF APOPKA FINAL DEVELOPMENT PLAN APPROVAL
 • FDEP POTABLE WATER SYSTEM DISTRIBUTION PERMIT
 • FDEP WASTEWATER COLLECTION SYSTEM PERMIT
 • ST. JOHNS RIVER WATER MANAGEMENT EHP
 • NPDES PERMITTING (INCLUDING NON AND HOT)
 • ORANGE COUNTY RIGHT-OF-WAY PERMIT
- ALL ELEVATIONS REFERENCED ON PLANS ARE NAVD 88.
- FUTURE DEVELOPMENT OF TRACT G REMAINING LANDS TO BE IN CONFORMANCE WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE MIXED EC ZONING DISTRICT AND DEVELOPMENT DESIGN GUIDELINES.
- AN ORANGE COUNTY RIGHT OF WAY PERMIT IS REQUIRED FOR WORK WITHIN THE OCOEE-APOPKA RIGHT OF WAY.
- FIRE HYDRANTS SHALL BE MARKED WITH BLUE ROAD REFLECTORS.

SITE DATA

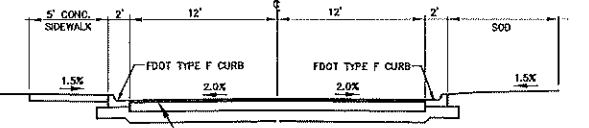
- THE PROPOSED PROJECT IS A DEVELOPMENT LOCATED ON AN EXISTING VACANT PROPERTY AT THE SOUTHERN PORTION OF TRACT G WITHIN EMERSON PARK SUBDIVISION. THE PROPOSED USE WILL BE A SKILLED NURSING FACILITY WITH 108 UNITS (BEDROOMS)/ 180 BEDS. SITE IMPROVEMENTS WILL INCLUDE BUILDINGS, PAVED ROADS, SIDEWALKS, ASSOCIATED UTILITIES, AND LANDSCAPING.
- PROJECT AREA:
 TRACT G: 1,049,262 SF = 24.08 ACRES
 DEVELOPMENT AREA: 425,581 SF = 9.77 ACRES
 REMAINING AREA: 923,681 SF = 21.31 ACRES
- PROJECT ADDRESS: 1601 ALSTON BAY BLVD., APOPKA FL
- EXISTING ZONING: MIXED EC
- FUTURE LAND USE (FLU) DESIGNATION: MU (MIXED USE)
- SURROUNDING ZONING:
 NORTH: MIXED EC
 EAST SIDE: MIXED EC
 WEST SIDE: MIXED EC, PUB, I-2
 SOUTH SIDE: MIXED-EC
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: SKILLED NURSING FACILITY
 REMAINING LANDS VACANT
- SETBACKS:
 FRONT: 25 FT
 ALL YARDS ADJACENT TO ROW: 25 FT
 SIDE: 10 FT
 REAR: 10 FT
 REAS: 10 FT
- BUILDINGS:
 1 BUILDINGS = 108 BEDROOMS
- BUILDING GROSS SQUARE FOOTAGE: 108,587 SF
- BUILDING FRONTAGE:
 MINIMUM REQUIRED: 65X
 PROVIDED: ALLSTON BAY BOULEVARD = BUILDING FRONTAGE = 835FT = 72X
 APOPKA-OCOEE ROAD = BUILDING FRONTAGE = 535FT = 46X
- FLOOR AREA RATIO:
 REQUIRED: 25% (MIN) 100X MAX
 PROVIDED: (108,587 SF / 425,581 SF) X 100 = 25.5%
- BUILDING DENSITY:
 ALLOWABLE: 15 UNITS / AC
 PROVIDED: 1 UNITS/9.77 AC = .10 UNITS / AC
- BUILDING HEIGHT:
 ALLOWABLE: 35'
 PROVIDED: < 35'
- PROJECTED NUMBER OF EMPLOYEES: 180 PEOPLE (3 SHIFTS)
- REQUIRED VEHICULAR PARKING:
 SPACES SHALL COMPLY WITH ARTICLE VI OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
 2 SPACES PER BEDROOM (108 BEDROOMS * 2 SPACES) = 216 PARKING SPACES
 PLUS SPACES FOR EMERGENCY VEHICLES = 2 PARKING SPACES
 TOTAL REQUIRED PARKING SPACES: 218 PARKING SPACES
 PROVIDED VEHICLE PARKING:
 ON SITE PARKING: = 216 PARKING SPACES
 PLUS SPACES FOR EMERGENCY VEHICLES: = 2 PARKING SPACES
 TOTAL PROVIDED PARKING SPACES: = 218 PARKING SPACES
 ADA HANDICAP PARKING:
 REQUIRED: 7 HANDICAP PARKING SPACES
 PROVIDED: 10 HANDICAP PARKING SPACES
 OFF STREET LOADING: 1 SPACE PER 100,000 SF PER ARTICLE VI SECTION 6.03.03-GENERAL OF THE CITY OF APOPKA LDC
 REQUIRED: 1 LOADING SPACE (10' X 25')
 PROVIDED: 1 LOADING SPACE (10' X 50')
- REQUIRED OPEN SPACE PER ARTICLE 8 SECTION 2.02.20.B.11 AND 2.02.18.D.19.b-GENERAL OF THE CITY OF APOPKA LDC IS A MINIMUM OF 20%
 MINIMUM REQUIRED: (425,587 SF * 20%) = 85,116 SF = 1.95 ACRES
 PROVIDED: 199,504 SF = 4.58 ACRES (46.8%)
- IMPERVIOUS AREA: MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO IS 80% PER CITY OF APOPKA LDC:
 MAXIMUM ALLOWED: (425,587 SF * 80%) = 340,469 SF = 7.82 ACRES
 PROPOSED: BUILDINGS (FOOTPRINT) = 108,587 SF = 2.49 ACRES = 25.5%
 PAVEMENT, SIDEWALKS, ETC. = 117,812 SF = 2.70 ACRES = 27.8%
 TOTAL IMPERVIOUS SURFACE = 226,399 SF = 5.19 ACRES = 53.1%
- RECREATION (PASSIVE AND/OR ACTIVE) (9.77 AC) X (15%) = 1.47 AC
 MINIMUM REQUIRE 15%
 PROVIDED: (PASSIVE) ±2.00 AC
- ALL POWER SERVICES ARE TO BE PROVIDED UNDERGROUND. NO OVERHEAD SERVICE WILL BE ALLOWED.
- A REPLAT OF THE PROPERTY WILL BE REQUIRED PRIOR TO CERTIFICATION OF OCCUPANCY. A PLAT WILL BE REQUIRED WITH FINAL DEVELOPMENT PLANS.

LEGEND

EXISTING	ITEM	PROPOSED
150	DRAINAGE LINE, SIZE AND CALL-OUT	D
1-1	CURB INLETS	1-1 1-2 1-3 1-4
1-5	DITCH BOTTOM INLET, YARD INLET, DRAINAGE MANHOLE, CONTROL STRUCTURE AND MITERED END SECTION	1-5 1-6 1-7 1-8 1-9 1-10
1-11	U-TYPE ENDWALL	1-11
1-12	STRAIGHT ENDWALL	1-12
1-13	WINGED ENDWALL	1-13
1-14	FLARED END SECTION	1-14
1-15	SURFACE DRAINAGE DIRECTION	1-15
1-16	SWALE	1-16
1-17	CONTOUR ELEVATION	1-17
HP	GRADING ELEVATION, HIGH POINT (HP) OR LOW POINT (LP)	HP OR LP
S:1	SLOPE (HORIZ:VERT)	S:1
X-X	FENCE LINE W/ GATE	X-X
W-V	WATER LINE, VALVE, HYDRANT ASSEMBLY, REDUCER AND BLOW-OFF	W-V
W-M	WATER METER AND MASTER METER ASSEMBLY	W-M
F-W	FIRE PROTECTION WATER LINE & SIZE AND POST INDICATOR VALVE	F-W
POS	FIRE DEPARTMENT CONNECTION	POS
R-W	RECLAIMED WATER LINE, SIZE, VALVE, REDUCER AND BLOW-OFF	R-W
S	SANITARY SEWER LINE, SIZE AND CALL-OUT	S
SM	SANITARY SEWER MANHOLE, SINGLE SERVICE LATERAL WITH CLEAN-OUT, DOUBLE SERVICE LATERAL, DUCTILE IRON PIPE & SIZE AND PLUG	SM
BSL	BUILDING SETBACK LINE	BSL
25R	EDGE OF PAVEMENT RADIUS DIMENSION	25R
⊙	NUMBER OF PARKING SPACES	⊙
⊙	HANDICAP PARKING SPACE W/ SIGN	⊙
⊙	TRAFFIC CONTROL SIGN	⊙
→	PAINTED WHITE DIRECTIONAL ARROWS	→
N/A	12" WHITE CROSSWALK (F.D.O.T. INDEX 17346) WITH 2' STOP BAR	→
N/A	CONCRETE SIDEWALKS AND CURB RAMPS	→
N/A	CONCRETE PAVEMENT	→
N/A	ASPHALT PAVEMENT	→



TYPICAL PARKING SECTION
 NTS



TYPICAL ENTRANCE SECTION
 NTS

MP/PDP/PSP

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4088
 CERTIFICATE OF AUTHORIZATION NO. 06

GREYSTONE SKILLED NURSING FACILITY
 CITY OF APOPKA, FLORIDA

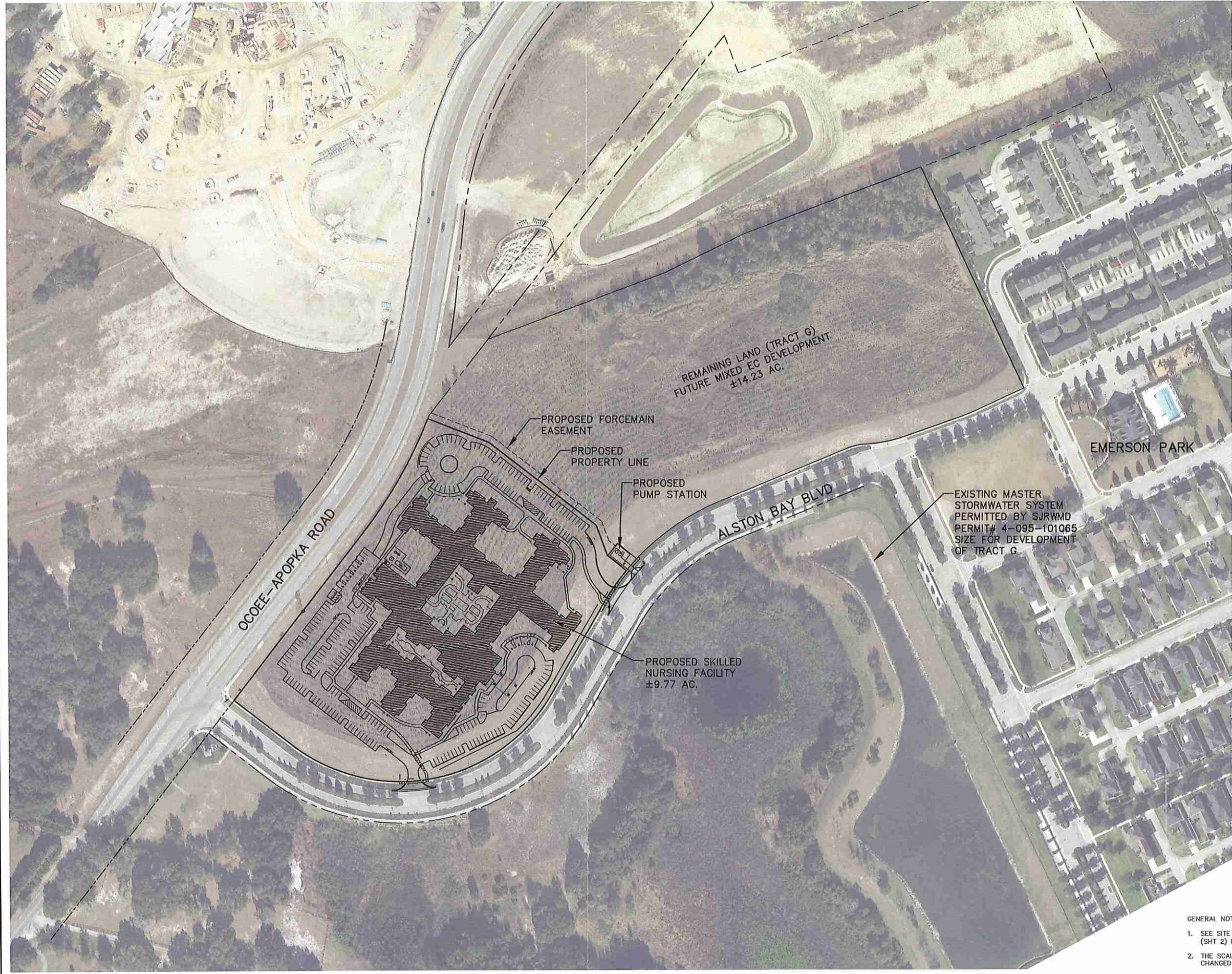
SITE DATA AND GENERAL NOTES

DRAWN BY: P.E.A.	CHECKED BY: MAB	DATE: 12/21/17	SCALE: AS SHOWN	JOB NUMBER: 17097
DESIGNED BY: MAB	CHECKED BY: MKF	DATE: 12/21/17	SCALE: AS SHOWN	JOB NUMBER: 17097
PER CITY OF APOPKA COMMENTS	PER CITY OF APOPKA COMMENTS	DATE:	NO.:	REVISIONS:
1				
2				

MICHAEL K. FARRELL, P.E.
 FLORIDA P.E. No. 73231

DRAWING: 17097-PDP-Note
 SHEET: 2 OF 9

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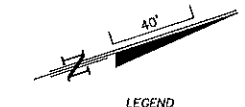
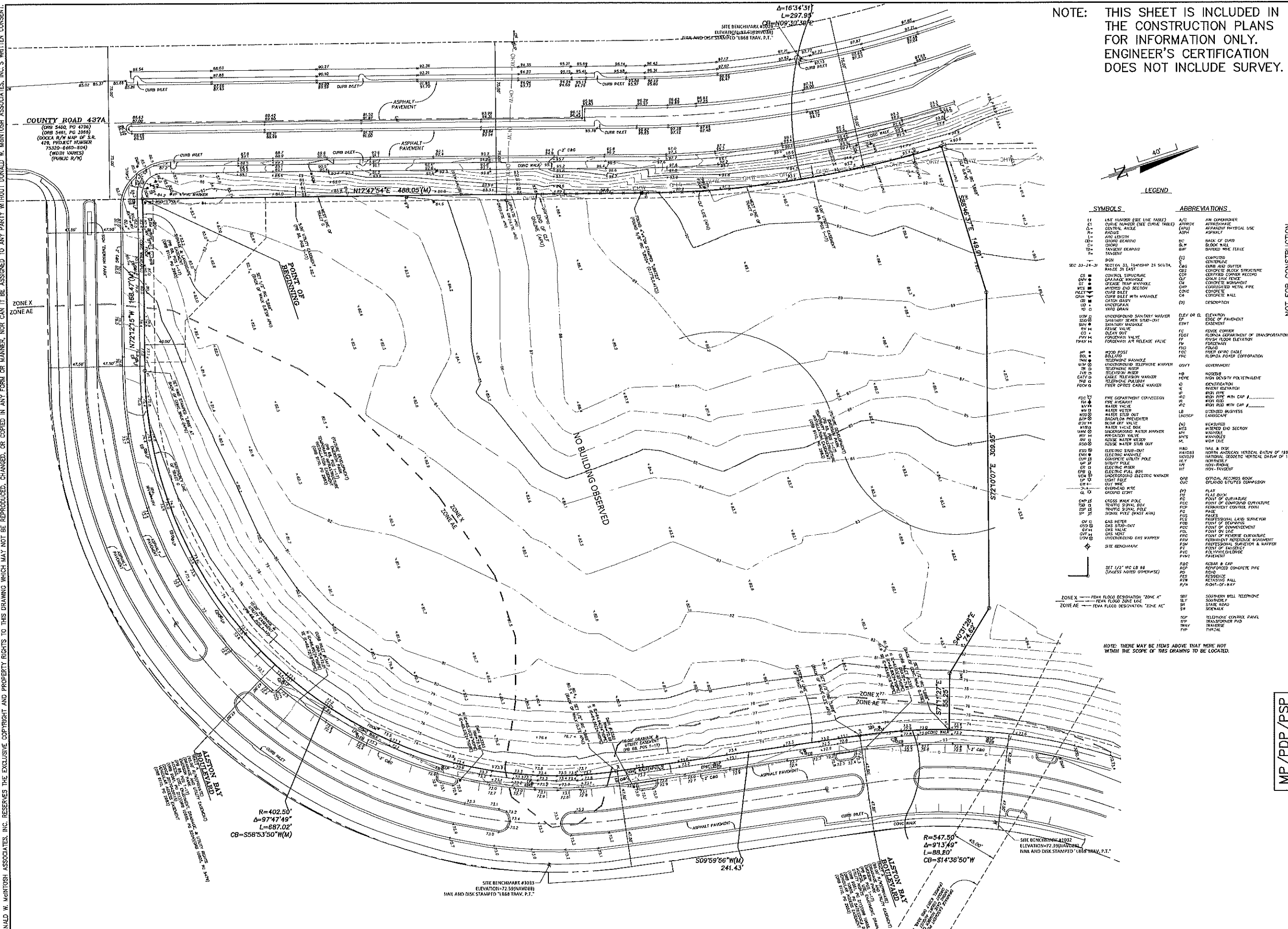
GENERAL NOTES:

1. SEE SITE DATA AND GENERAL NOTES SHEET (SHT 2) FOR ADDITIONAL INFORMATION.
2. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

<p>DRAWING 17097-PDP-PAerial</p>	<p>MP/PDP/PSP</p> <p>GREYSTONE SKILLED NURSING FACILITY CITY OF APOPKA, FLORIDA</p> <p>OVERALL MASTER PLAN</p>	<p>DESIGNED BY PEA</p> <p>CHECKED BY MAB</p> <p>DATE 12/21/17</p> <p>SCALE 1"=100'</p> <p>JOB NUMBER 17097</p>	<p>NOT FOR CONSTRUCTION</p> <p>DONALD W. MCINTOSH ASSOCIATES, INC. PLANNERS SURVEYORS 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068 CERTIFICATE OF AUTHORIZATION NO. 68</p> <p>MICHAEL K. FARRELL, P.E. FLORIDA P.E. No. 73231</p> <p>DATE: _____</p>
<p>SHEET 3 OF 9</p>	<p>NO. DATE</p> <p>1 4/23/18</p>	<p>PER CITY OF APOPKA COMMENTS</p>	<p>REVISIONS</p> <p>CHK.</p>

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NOTE: THIS SHEET IS INCLUDED IN THE CONSTRUCTION PLANS FOR INFORMATION ONLY. ENGINEER'S CERTIFICATION DOES NOT INCLUDE SURVEY.



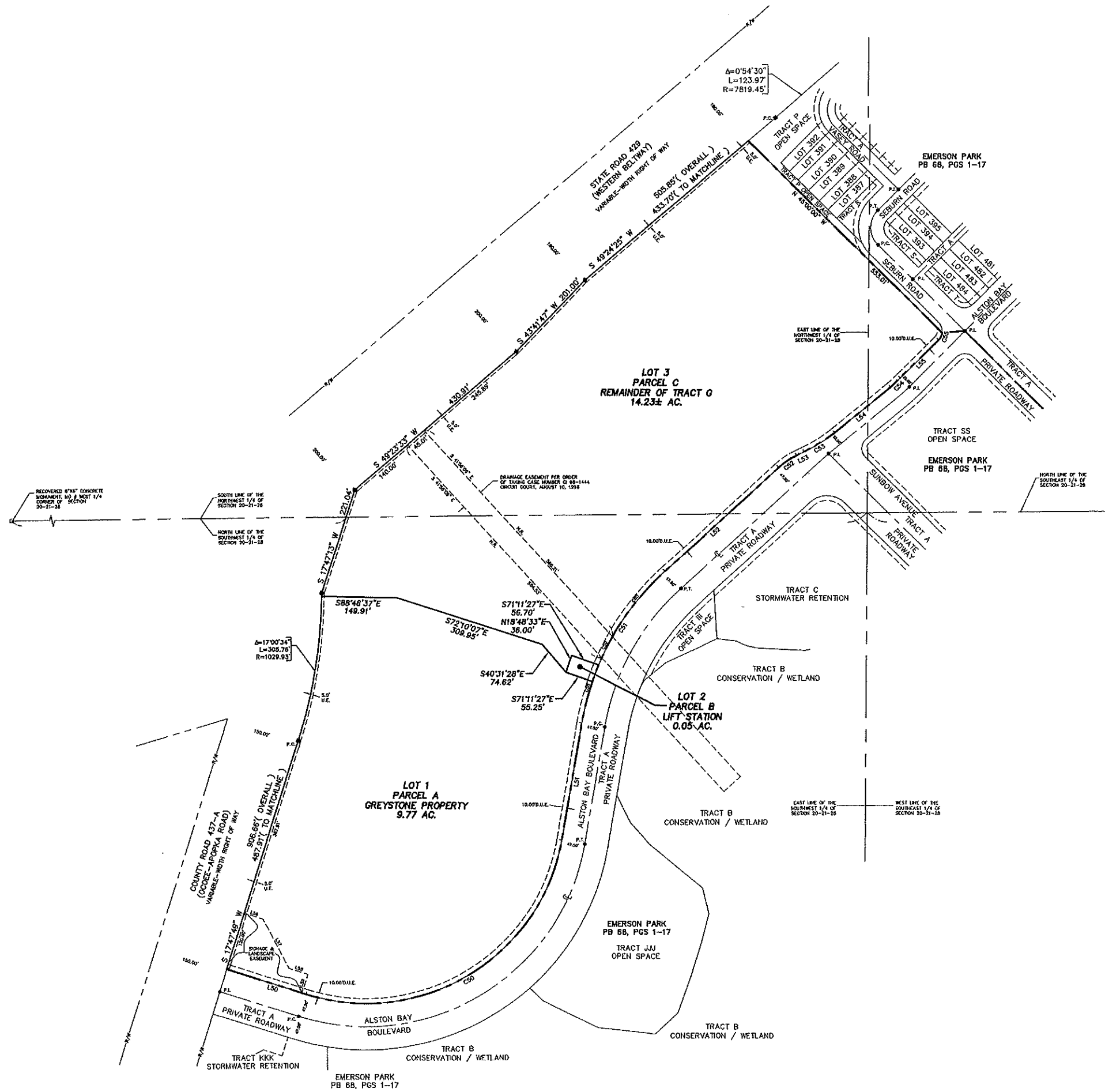
LEGEND

SYMBOLS	ABBREVIATIONS
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NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068 CERTIFICATE OF AUTHORIZATION NO. 98	
DRAWING 17097-PDP-PEA18	SHEET 4 OF 9
GREYSTONE SKILLED NURSING FACILITY CITY OF APOPKA, FLORIDA EXISTING CONDITIONS PLAN	
MP/PDP/PSP	
DESIGNED BY MAB	CHECKED BY MKF
DATE 12/21/17	SCALE 1"=80'
JOB NUMBER 17097	PER CITY OF APOPKA COMMENTS REVISIONS
MICHAEL K. FARRELL, P.E. FLORIDA P.E. NO. 73231	
DATE: _____	

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LINE	LENGTH	BEARING
L50	168.36'	S72°12'11"E
L51	241.43'	N10°00'00"E
L52	312.29'	R47°30'00"E
L53	17.09'	N84°43'23"E
L54	146.74'	N50°34'56"E
L55	108.97'	N45°00'00"E
L56	40.00'	N72°12'11"W
L57	113.14'	R27°12'11"W
L58	40.00'	S72°12'11"E
L59	40.00'	N174°7'48"E

MP/PDP/PSP

GREYSTONE SKILLED NURSING FACILITY
CITY OF APOPKA, FLORIDA

SUBDIVISION PLAN

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4088
CERTIFICATE OF AUTHORIZATION NO. 68

DRAWN BY: PEA
DESIGNED BY: MAB
CHECKED BY: MKF
DATE: 12/21/17

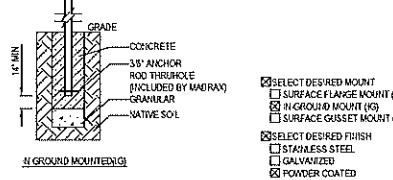
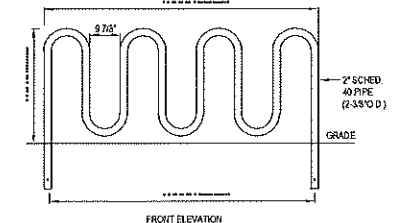
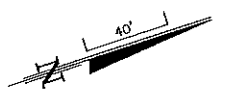
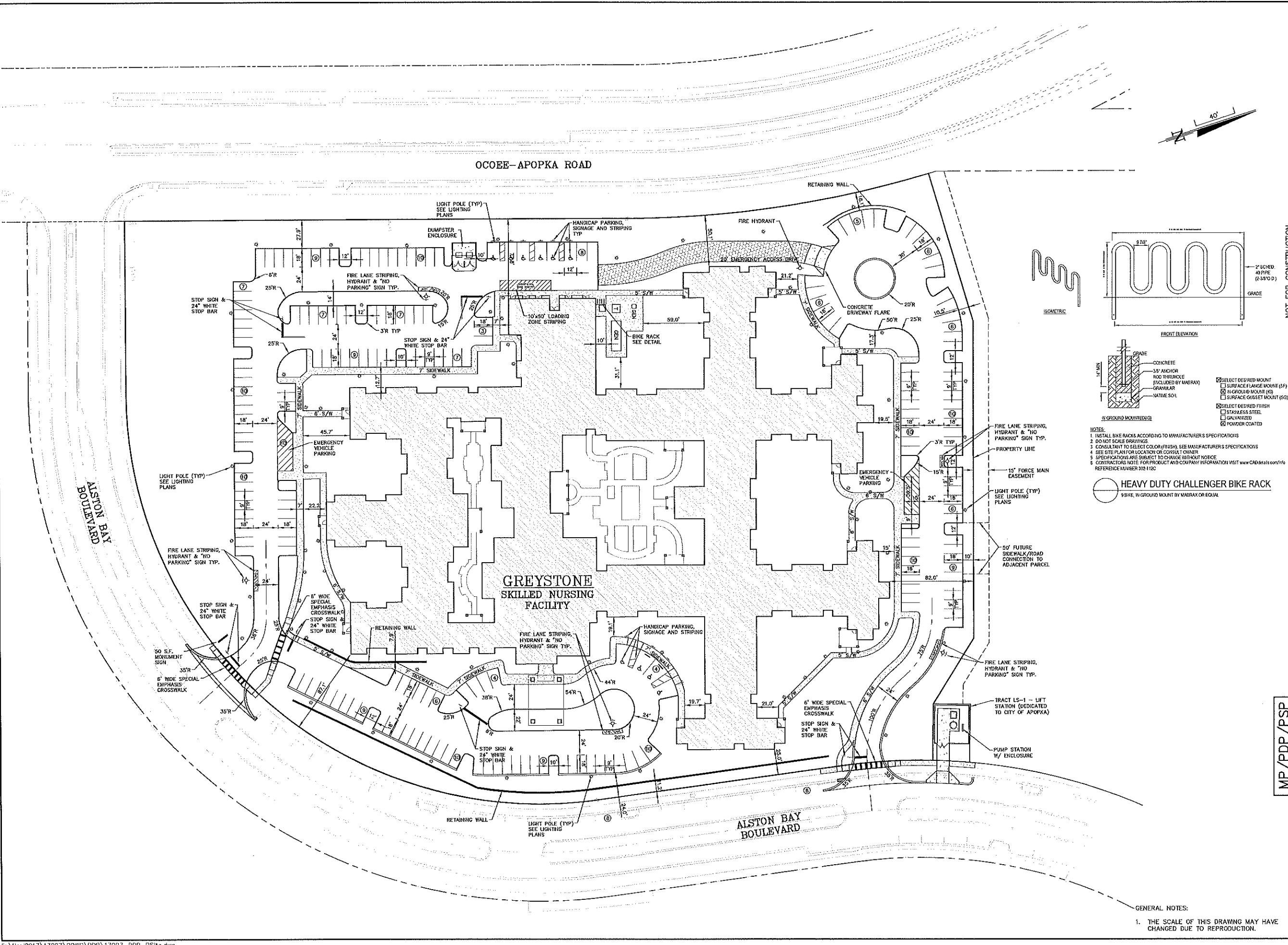
SCALE: 1"=100'
JOB NUMBER: 17087

MICHAEL K. FARRELL, P.E.
FLORIDA P.E. NO. 73231

NO.	DATE	REVISIONS
2	5/22/18	PER CITY OF APOPKA COMMENTS
1	4/23/18	PER CITY OF APOPKA COMMENTS

DRAWING: 17087-PDP-PSP
SHEET: 5 OF 9

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- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS
 2. DO NOT SCALE DRAWINGS
 3. CONSULTANT TO SELECT COLOR (FINISH) SEE MANUFACTURER'S SPECIFICATIONS
 4. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER
 5. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE
 6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADskate.com/fo REFERENCE NUMBER 302112C

HEAVY DUTY CHALLENGER BIKE RACK
9 BIKE, 31 GROUND MOUNT BY MARRAX OR EQUAL

NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS
1	4/23/18	PER CITY OF APOPKA COMMENTS
2	5/22/18	PER CITY OF APOPKA COMMENTS

MICHAEL K. FARRELL, P.E.
FLORIDA P.E. No. 73231

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088

GREYSTONE SKILLED NURSING FACILITY
CITY OF APOPKA, FLORIDA

SITE PLAN

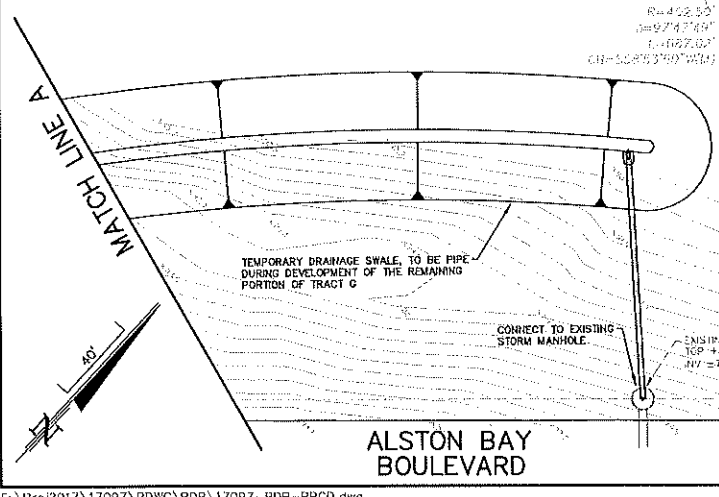
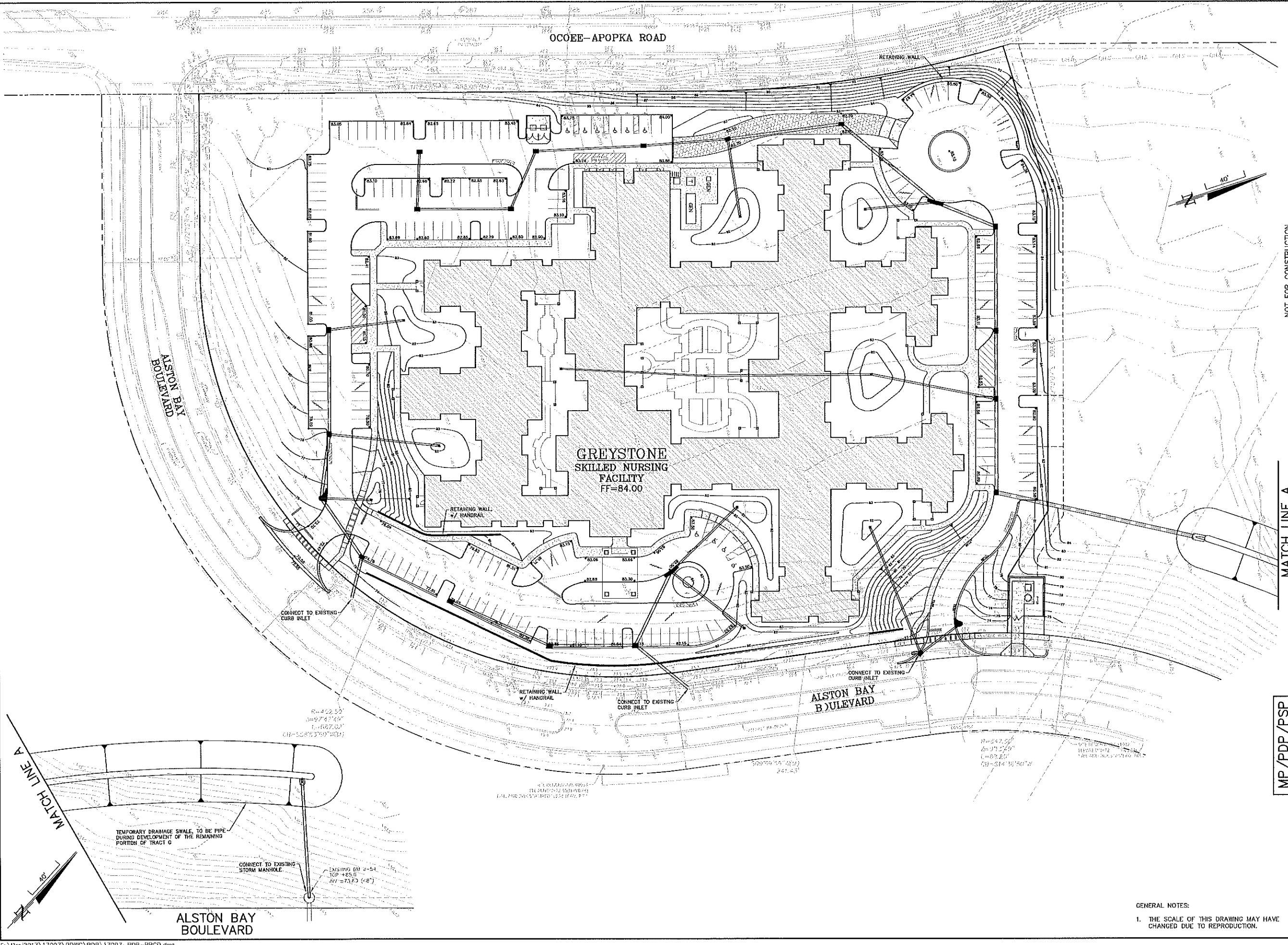
MP/PDP/PSP

DRAWN BY	DESIGNED BY	CHECKED BY	DATE	SCALE	JOB NUMBER
PEA	MAB	MKF	12/21/17	1"=40'	17097

DRAWING 17097-PDP-PSH
SHEET 6 OF 9

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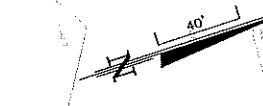
ALSTON BAY BOULEVARD

**GREYSTONE
SKILLED NURSING
FACILITY
FF=84.00**

OCOEE-APOPKA ROAD

ALSTON BAY BOULEVARD

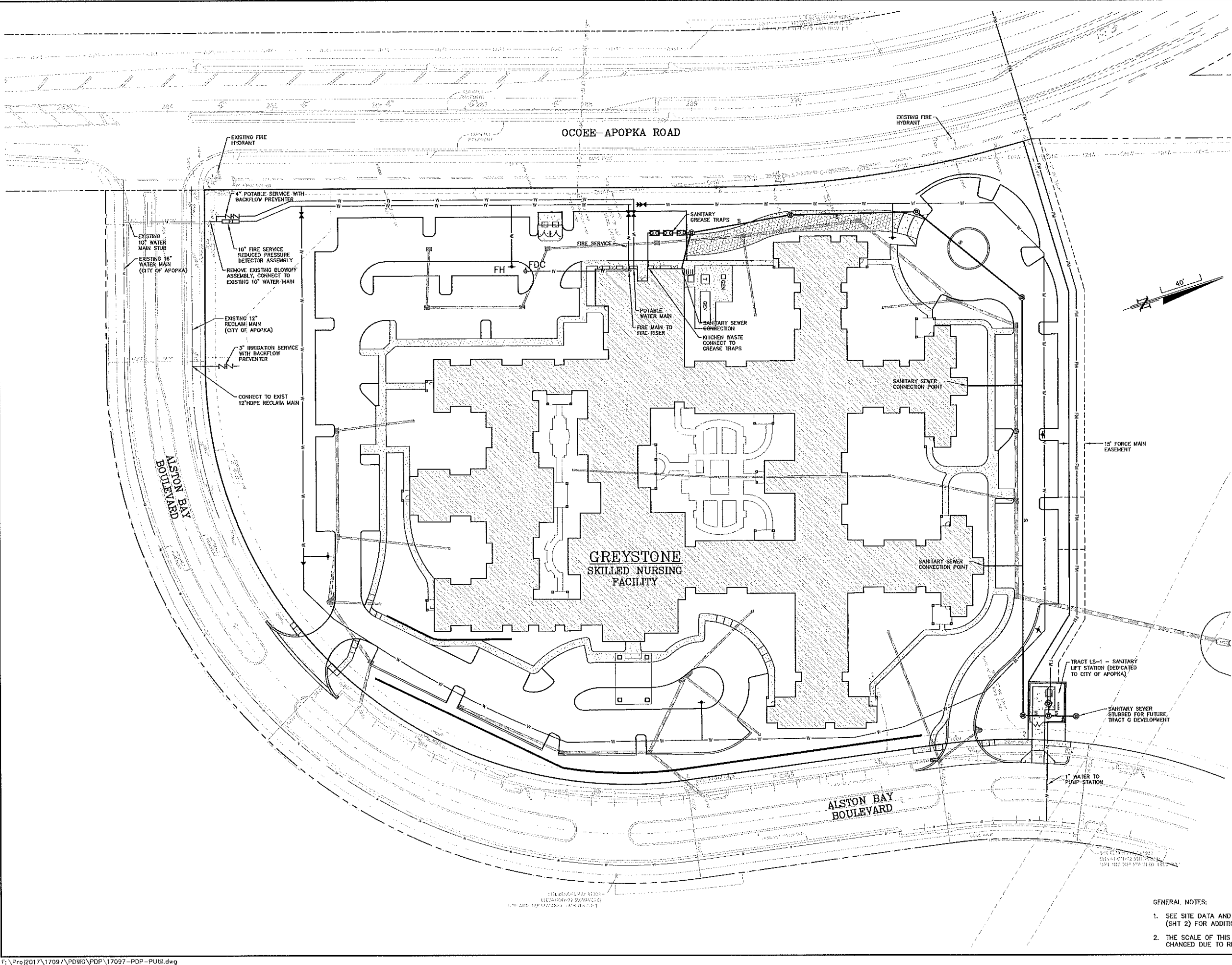
ALSTON BAY BOULEVARD



GENERAL NOTES:
1. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

MP/PDP/PSP		MATCH LINE A		NOT FOR CONSTRUCTION	
GREYSTONE SKILLED NURSING FACILITY CITY OF APOPKA, FLORIDA		DONALD W. MCINTOSH ASSOCIATES, INC. PLANNERS ENGINEERS 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068 CERTIFICATE OF AUTHORIZATION NO. 68		MICHAEL K. FARRELL, P.E. FLORIDA P.E. NO. 73231 DATE: _____	
DESIGNED BY	MAB	CHECKED BY	MKE	DATE	12/21/17
DRAWN BY	PEA	SCALE	1"=40'	JOB NUMBER	17097
				NO. OF APOPKA COMMENTS	1
				REVISIONS	NO. DATE
				DATE	4/23/18
				CHK.	MKF
DRAWING 17097-PDP-PSP0		SHEET 7 OF 9			

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MP/PDP/PSP

GREYSTONE SKILLED NURSING FACILITY
CITY OF APOPKA, FLORIDA

UTILITY PLAN

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068
CERTIFICATE OF AUTHORIZATION NO. 68

MICHAEL K. FARRELL, P.E.
FLORIDA P.E. NO. 73231
DATE: _____

DESIGNED BY	MAB	CHECKED BY	MKF	DATE	12/21/17	SCALE	1"=40'	JOB NUMBER	17097
DRAWN BY	PEA	CHECKED BY	MKF	DATE	12/21/17	SCALE	1"=40'	JOB NUMBER	17097

DRAFTING 17097-PDP-FU01

SHEET 8 OF 9

GENERAL NOTES:

1. SEE SITE DATA AND GENERAL NOTES SHEET (SHT 2) FOR ADDITIONAL INFORMATION.
2. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

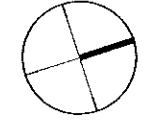


120 West Robinson Street
Orlando, Florida 32801-1617
Phone (407) 648-2225
www.fosterconant.com

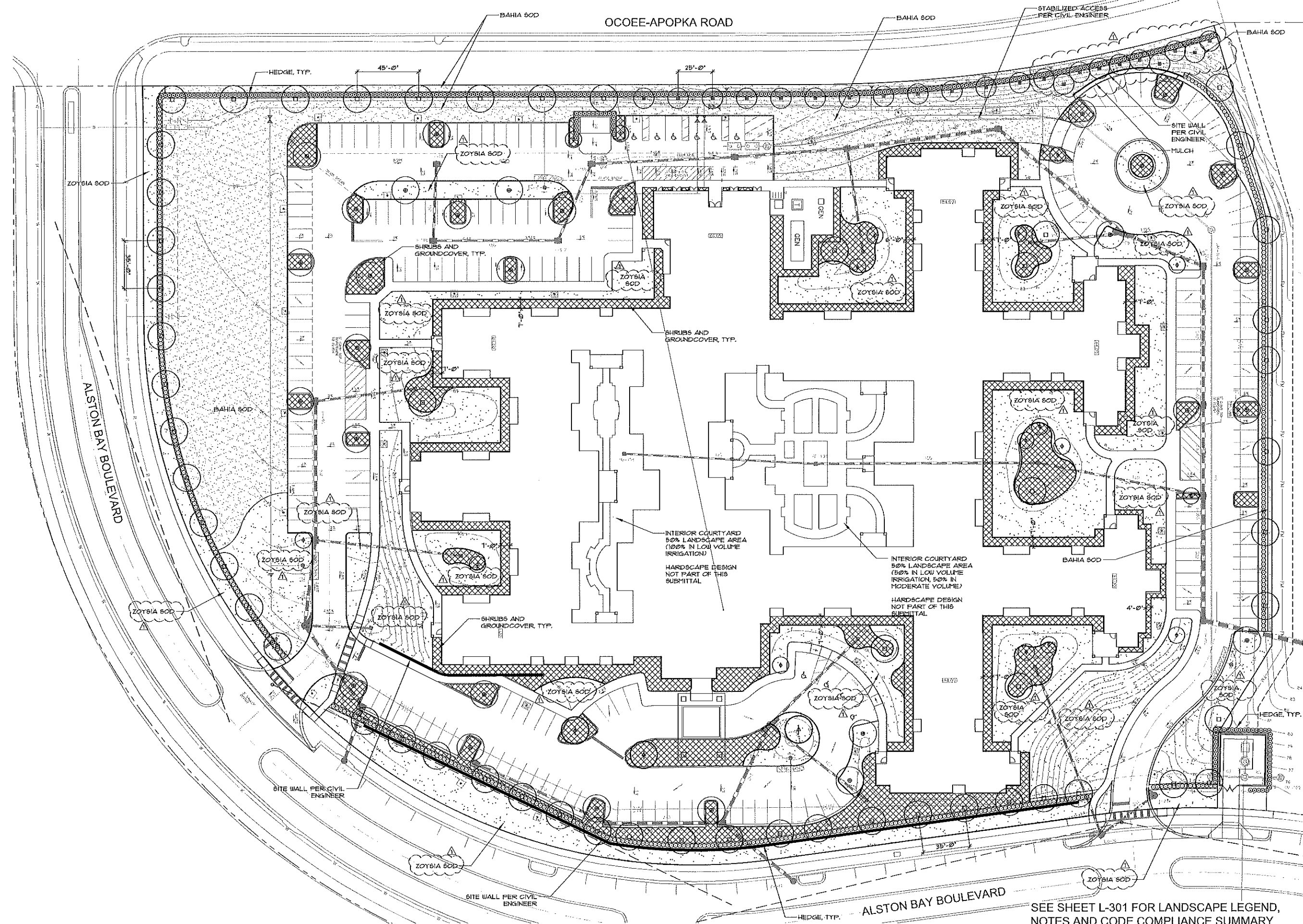
△ Notes
△ 04/09/16 REV PER CITY COMMENTS

GREYSTONE
SKILLED NURSING
FACILITY
APOPKA, FL
LANDSCAPE
PLAN

Date: 12/22/11
Scale: 1"=30'
Drawn: JM
Checked: RC
Title: GREYSTONE.DWG



Sheet
L-300



SEE SHEET L-301 FOR LANDSCAPE LEGEND,
NOTES AND CODE COMPLIANCE SUMMARY

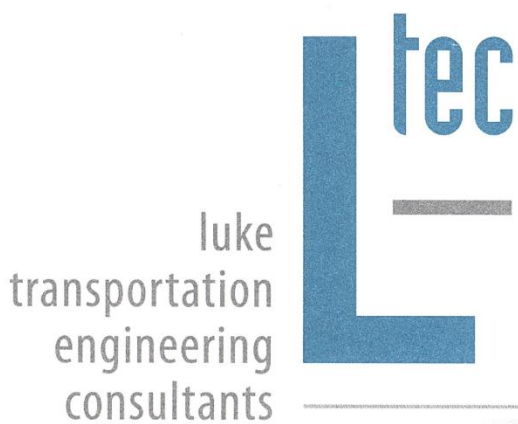
June 2018 (Revised)

GREYSTONE SKILLED NURSING FACILITY

APOPKA, FLORIDA

Concurrency Management System

Traffic Impact Analysis

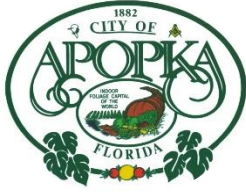


STUDY CONCLUSIONS

This study was undertaken to evaluate existing and future 2018 traffic conditions in the vicinity of the proposed Greystone Skilled Nursing Facility development in southwest Apopka, Florida. The study consisted of the determination of the vehicular trips, which would utilize the area roadways as a result of the proposed development of the vacant site. The trips to be generated by the proposed mixed-use development were estimated to be 1,060 new daily vehicle trip ends and 123 new P.M. peak hour vehicle trip ends.

The Project's P.M. peak hour trip ends were directionally distributed and assigned to the adjacent roadways. The results of the study as documented herein are summarized below:

- The proposed assisted living developed will consist of a 180-bed assisted living facility with 250 employees.
- All but one of the study roadway segments to be impacted by the proposed development currently have sufficient available capacity to serve the traffic generation of the proposed development at Build-out. The roadway segment of Ocoee Apopka Road (CR 437A) between SR 429 and Keene Road is currently over capacity and will continue to have deficient capacity
- The Ocoee Apopka Road (CR 437A) and Keene Road study intersection is projected to operate a deficient level of service for the minor street movements. The intersection will continue to operate at deficient levels of service for the minor street movements until the planned traffic signal is installed.
- All the remaining study intersections are projected to operate at acceptable levels of service, similar to existing conditions.
- The proposed Project access connections will operate at acceptable levels of service and do not warrant auxiliary turn lanes.
- The proposed access driveways should be designed to City of Apopka and FDOT design standards.



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	June 26, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Site Location Map
		Zoning Map
		Aerial Map
		Final Development Plan
		Traffic Impact Analysis

SUBJECT: FINAL DEVELOPMENT PLAN – LAKE GEM COMMERCE PARK, LOT 10

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR LAKE GEM COMMERCE PARK

SUMMARY:

OWNER/APPLICANT: Property Industrial Enterprises, LLC c/o Michael R. Cooper

ENGINEER: Ken Ehlers, P.E.

LOCATION: 511 and 611 Marshall Lake Road

PARCEL ID #s: 09-21-28-0196-80-520; 09-21-28-0196-80-512; 09-21-28-0196-80-514

FUTURE LAND USE: Industrial

ZONING: PUD (Planned Unit Development)/I-1

EXISTING USE: Vacant

PROPOSED USE: Industrial/Lot 10 within Commerce Park with a Total of 12 Lots

TRACT SIZE: 0.76 +/- acres/33,196 square feet

BUILDING SIZE: 7,489 square feet

FLOOR AREA RATIO Proposed 0.22; Maximum 0.60

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Railroad/Commercial	Railroad/I-1	Railroad/Vacant
East (City)	Industrial	I-1	Vacant
South (City)	Industrial	Right-of-Way/I-1	Marshall Lake Road/Single Family Residence/Horticulture/Vacant
West (City)	Conservation\Industrial	I-1	Vacant

Project Use: The Lake Gem Commerce Park Lot 10 Final Development Plan is a site plan proposing a 7,489 sq. ft., one-story building. Located within the PUD/I-1 zoning district, Lot 10 contains 33,196 square feet. Lake Gem Commerce complies with the development standards for I-1 zoning district but allowed for a building height of up to 50 feet.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	10'*
Corner	25'

*30 feet setback from residential uses or zoning districts.

Access/Parking: Ingress/egress access points for the development will be via the spine road, Gem Commerce Court with full access onto Marshall Lake Road. Twenty parking spaces, including one ADA-compliant parking space, are provided as required by Code.

Transportation: A transportation impact analysis (TIA) was conducted for the Lake Gem Industrial Park to assess the impacts of the total project on the surrounding roadway segments and intersections within a one-mile radius of the project per the City’s adopted TIA methodology. Marshall Lake Building Lot 10 is one of 12 lots located in the 90,000 square feet Lake Gem Industrial Park project, representing about 8% of the total project. Included in the analysis were segments of Bradshaw Road, Marshall Lake Road, and W 1st Street. The intersection of Bradshaw Road and Lake Marshall Road along with the site entrance were also analyzed.

The Lake Gem Industrial Park project will generate 627 daily trips and 87 P.M. Peak Hour trips. Marshall Lake Building Lot 10 will generate 52 daily trips and 7 P.M. Peak Hour Trips. The addition of the project trips for the entire Lake Gem Industrial Park to the study roadways will not cause the Level of Service (LOS) to fall below the City’s adopted LOS. The intersection of Bradshaw Road and Marshall Lake Road and the site entrance will operate at acceptable Levels of Service with the addition of project generated traffic.

Stormwater: The stormwater management system includes an on-site retention area on the western portion of the Lake Gem Commerce Park. The stormwater pond design has been previously reviewed under the Lake Gem Commerce Park and meets the City’s Land Development Code requirements.

Buffer: A 25-foot wide landscaped buffer is provided along Gem Commerce Court. A Crepe Myrtle is provided for each parking landscape island, which is approximately 10-feet in width and matches the length of the adjacent parking spaces.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

June 26, 2018 - Planning Commission, 5:30 p.m.

July 18, 2018 - City Council, 7:00 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Marshall Lake Building Lot 10 Final Development Plan subject to the findings of this staff report.

Planning Commission: Find the Lake Gem Commerce Park Lot 10 Final Development Plan/Site Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Lake Gem Commerce Park Lot 10 Final Development/Site Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

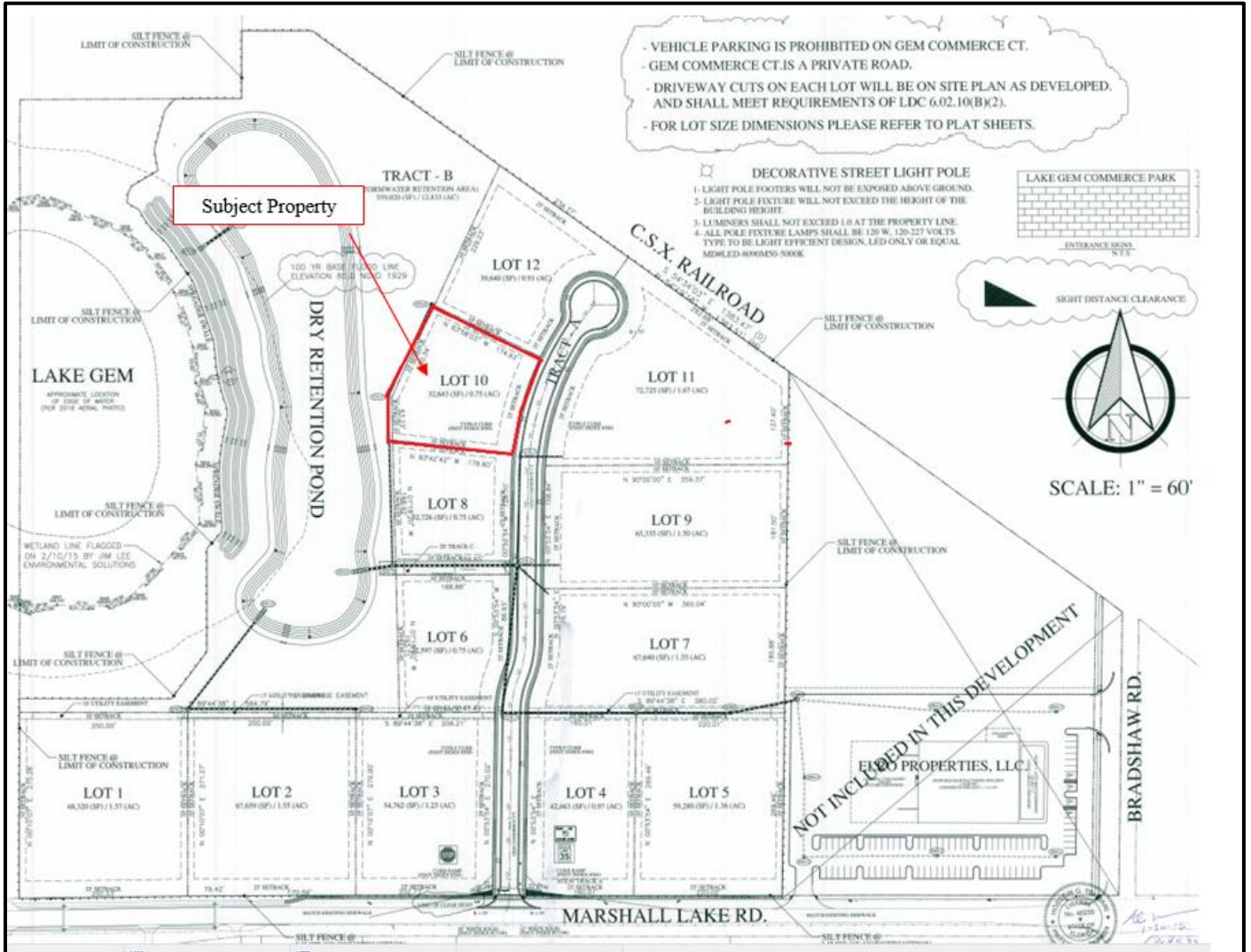
**PLANNING COMMISSION – JUNE 26, 2018
LAKE GEM COMMERCE PARK LOT 10 - FINAL DEVELOPMENT PLAN
PAGE 4**

Owner: Property Industrial Enterprises, LLC c/o Michael R. Cooper
Applicant: Ken Ehlers, P.E.
Parcel ID Nos.: 09-21-28-0000-00-011 and 08-21-28-0000-00-029
Address: 511 and 611 Marshall Lake Road
Total area: 0.76 acre(s) +/-

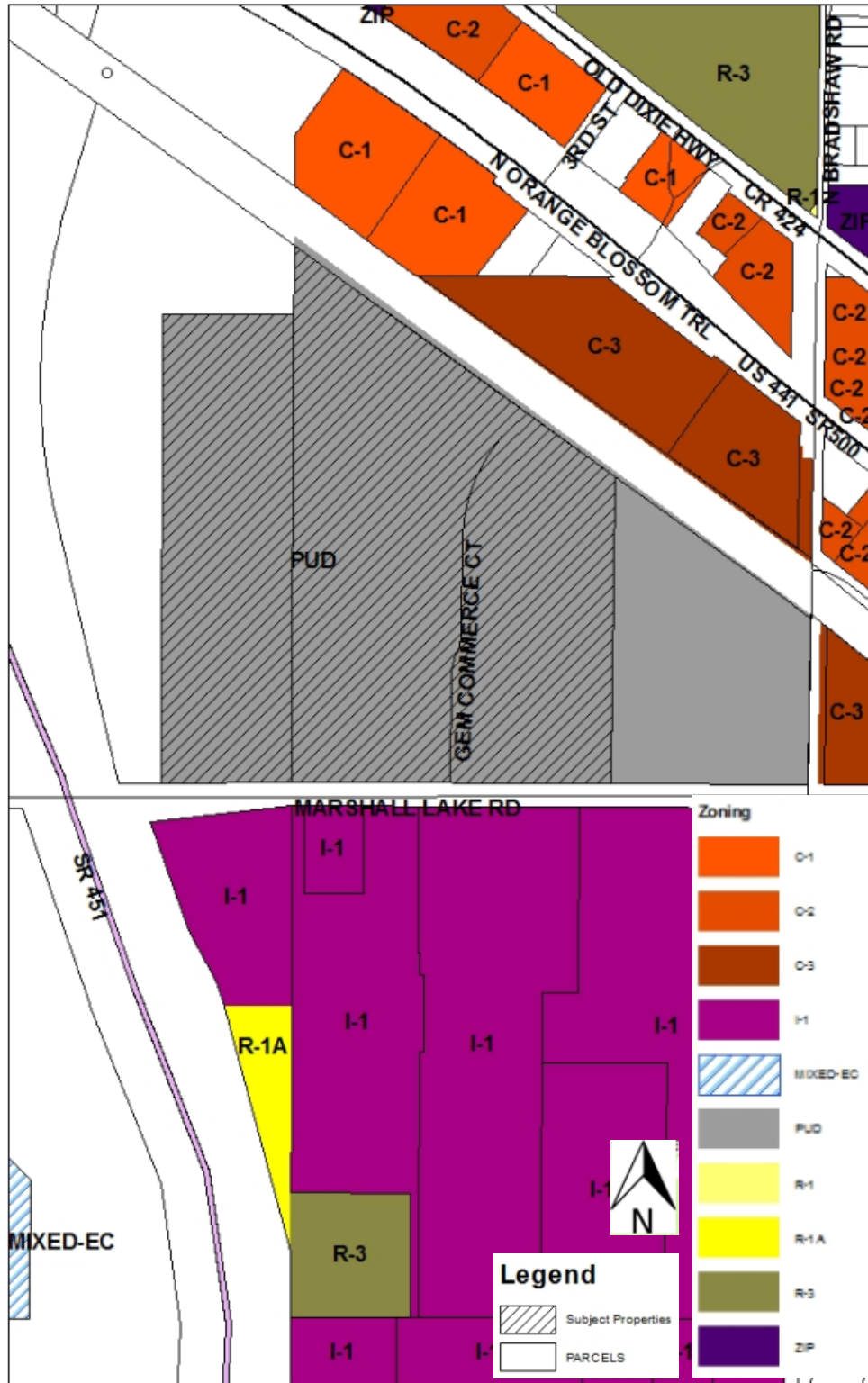
VICINITY MAP



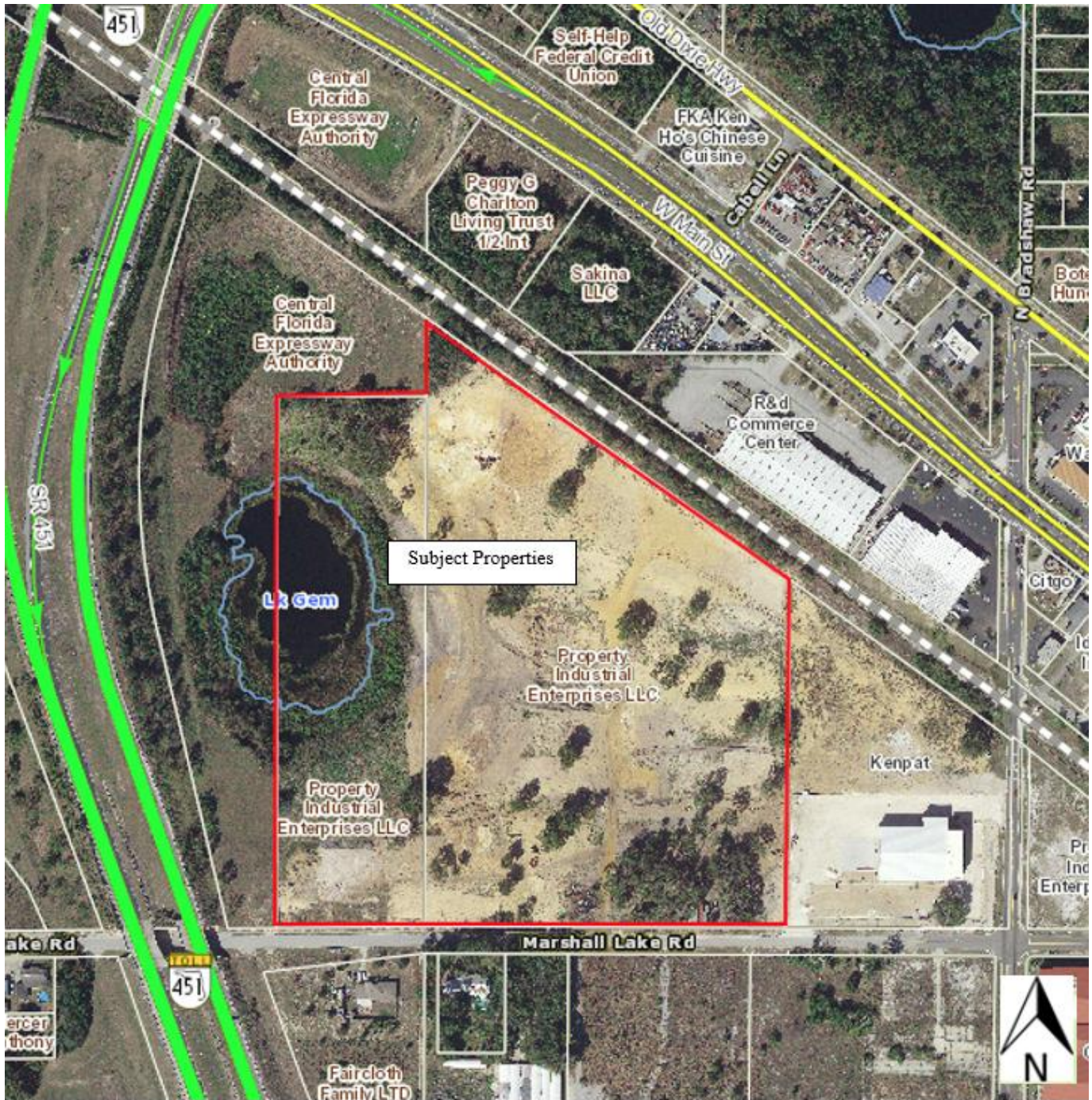
SITE LOCATION MAP



ZONING MAP



AERIAL MAP



SEPTEMBER 2017

LAKE GEM INDUSTRIAL PARK

APOPKA, FLORIDA

Concurrency Management System

Traffic Impact Analysis

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**CONCURRENCY MANAGEMENT SYSTEM
TRAFFIC IMPACT ANALYSIS
LAKE GEM INDUSTRIAL PARK
APOPKA, FLORIDA**

Prepared for:

Cooper Construction Co.
516 Cooper Oaks Court
Apopka, FL 32703

Prepared by:

Luke Transportation Engineering Consultants
P. O. Box 941556
Maitland, Florida 32794-1556
407-423-8055
www.Ltec-FL.com

September 2017

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PROFESSIONAL ENGINEERING CERTIFICATE

I hereby certify that I am a registered professional engineer in the State of Florida practicing with Luke Transportation Engineering Consultants, a corporation authorized to operate as an engineering business (#EB-0007429), by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluation, findings, opinions, conclusions, or technical advice hereby reported for:

PROJECT: Lake Gem Industrial Park

LOCATION: Bradshaw Road & Marshall Lake Road, Apopka, Florida

CLIENT: Cooper Construction Co.

I acknowledge that the procedures and references used to develop the results contained in this report are standard to the professional practice of transportation engineering as applied through professional judgment and experience.

NAME: J. Anthony Luke, P.E.

P.E. NO.: 42642

DATE: September 7, 2017

SIGNATURE: _____

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INTRODUCTION

Purpose

This study was conducted to assess the traffic impact of the Lake Gem Industrial Park on the north side of Marshall Lake Road west of Bradshaw Road in Apopka, Florida. The proposed developed will consist of up to 90,000 square feet of industrial space on 12 parcels. Build-out is expected to occur by the end of 2018. **Figure 1** shows the location of the development.

Access will be via five access driveways onto Marshall Lake Road. **Figure 2** shows a conceptual site plan.

Study Methodology

Before conducting this study, the assumptions and procedures to be used in the traffic impact analysis was submitted to the City Engineer for the City of Apopka. A copy of the study methodology and related City correspondence are included in **Appendix A**.

The analysis includes a daily and P.M. peak hour roadway analysis of City of Apopka CMS roadway segments within a one-half mile radius of the access connections. A P.M. peak hour analysis was also conducted at the following intersection:

- Bradshaw Road and Marshall Lake Road

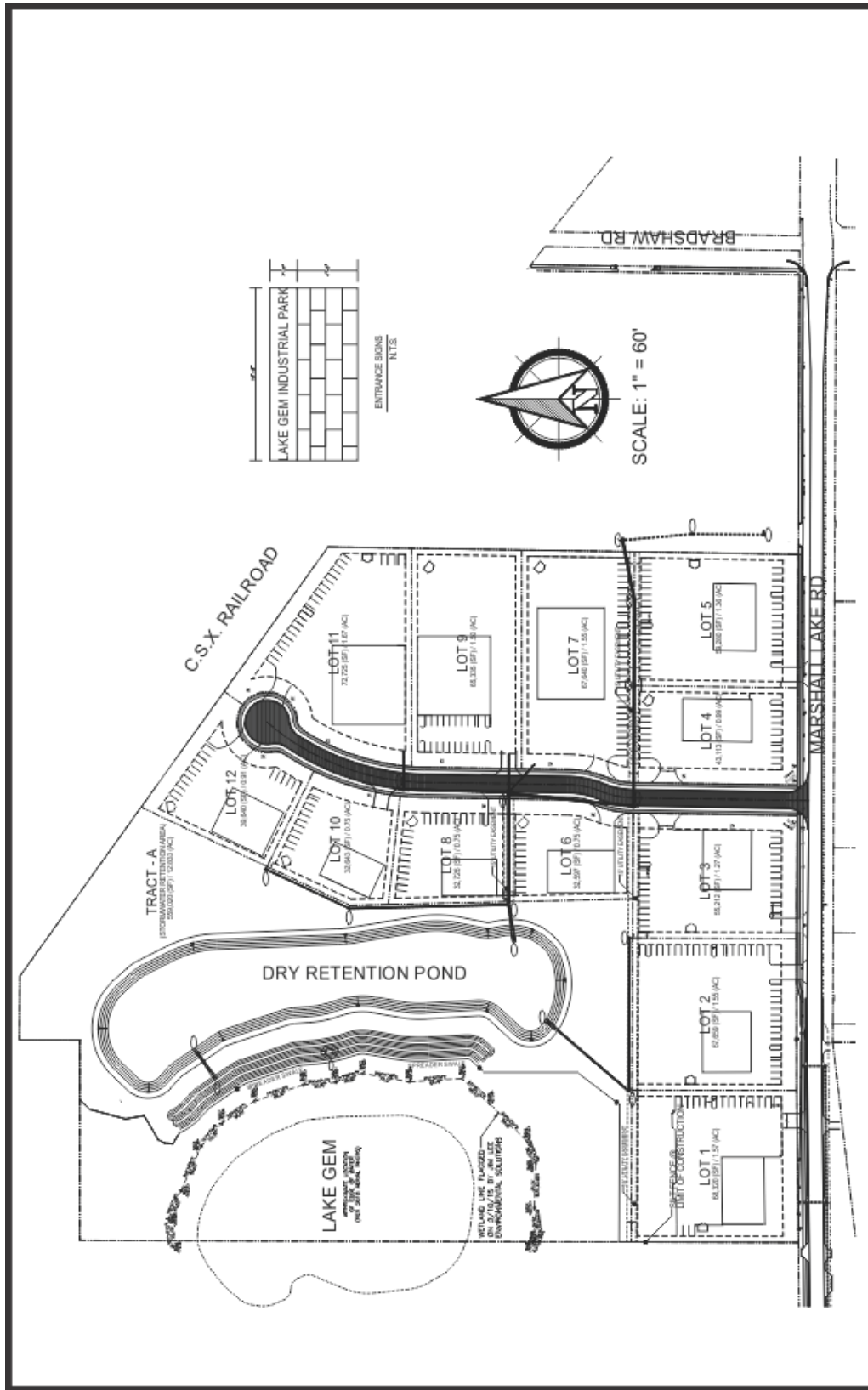
Daily and P.M. peak hour roadway link volumes including reserved traffic volumes used in the roadway analysis were taken from the City of Apopka from the Concurrency Management System 2016 Update.



**LAKE GEM INDUSTRIAL PARK
APOPKA, FLORIDA
TRAFFIC STUDY
SITE LOCATION**



Figure 1



LAKE GEM INDUSTRIAL PARK
APOPKA, FLORIDA
TRAFFIC STUDY
CONCEPTUAL SITE PLAN



Figure 2

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EXISTING ROADWAYS AND TRAFFIC CONDITIONS

A survey was conducted of the existing roadway segments within a one-half mile radius impact area that will be impacted by the proposed development. The purpose of this survey was to obtain information on physical and traffic characteristics of these facilities. Existing traffic volume data at the study intersections is based on turning movement counts collected during August 2017.

Study Roadways

Table 1 provides a list of the roadway parameters utilized in the analysis, taken from the City of Apopka 2016 CMS Update. Included in this table are: number of lanes, functional classification, adopted Level of Service (LOS) standards, roadway service volumes, daily and P.M. peak hour traffic volumes, LOS and available capacity. Based upon this analysis, the study roadway segments currently operate at acceptable levels of service.

Study Intersections

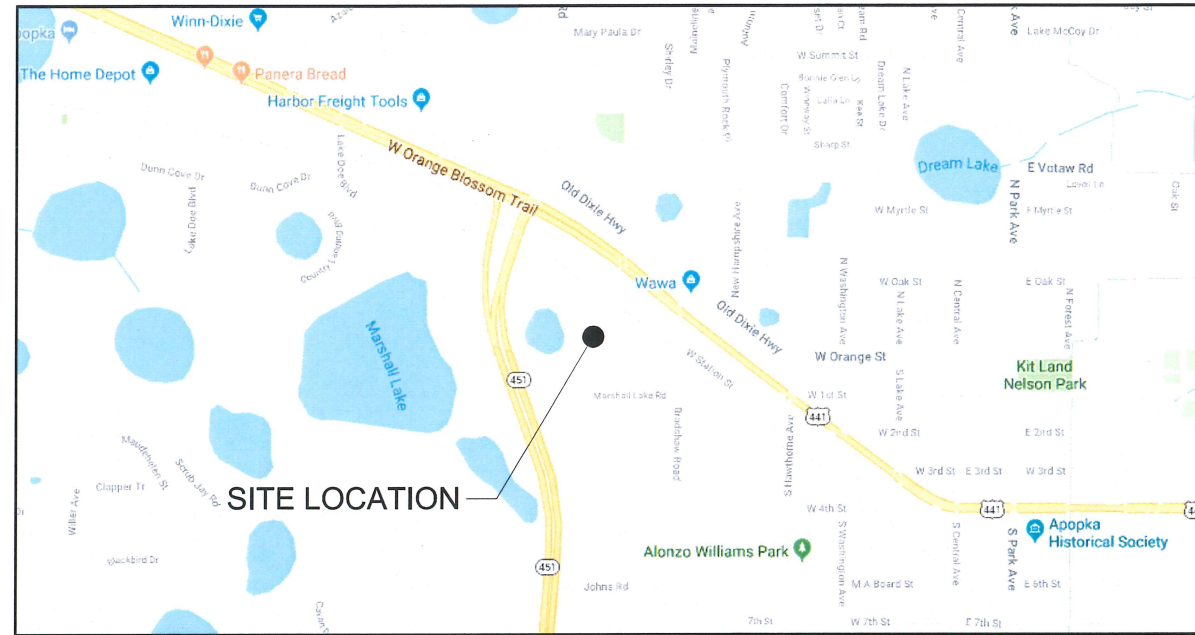
The study intersections were analyzed under existing conditions using the procedures of the *2010 Highway Capacity Manual* for signalized and unsignalized intersections. This analysis used existing traffic volumes (see **Appendix B** for the turning movement summaries of the existing intersection) and existing geometric conditions.

Figure 3 shows the existing P.M. peak hour intersection turning movement traffic volumes, the existing lane configurations and traffic control at the study intersection. **Table 1** also includes the summary results of the intersection analysis. Analysis sheet is included in **Appendix C**. As can be seen, the study intersection operates at a satisfactory Level of Service.

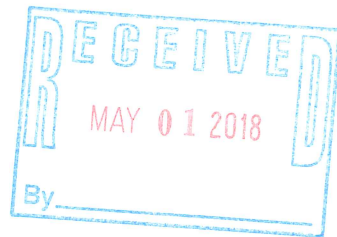
Programmed Roadway Improvements

No roadway improvements are programmed.

SUBDIVISION PLAN INDEX OF DRAWINGS	
SHEET NO.	SHEET DESCRIPTION
1	COVER
S - 1	SITE PLAN WITH BOUNDARY AND TOPO SURVEY
L - 1	LANDSCAPE PLAN
I - 1	IRRIGATION PLAN



VICINITY MAP
NTS

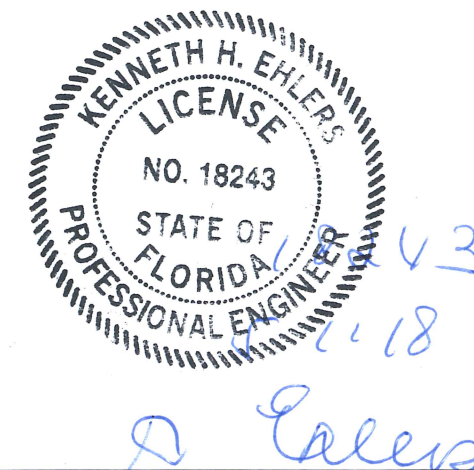


**FINAL DEVELOPMENT PLAN
FOR MARSHALL LAKE BUILDING, L.L.C.
LAKE GEM COMMERCE PARK
SUBDIVISION PLAN**

PARCEL ID: 08-21-28-0000-00-029
PARCEL ID: 09-21-28-0000-00-011

LOT #10

**CITY OF APOPKA
JANUARY, 2018**



PLAN NOTES

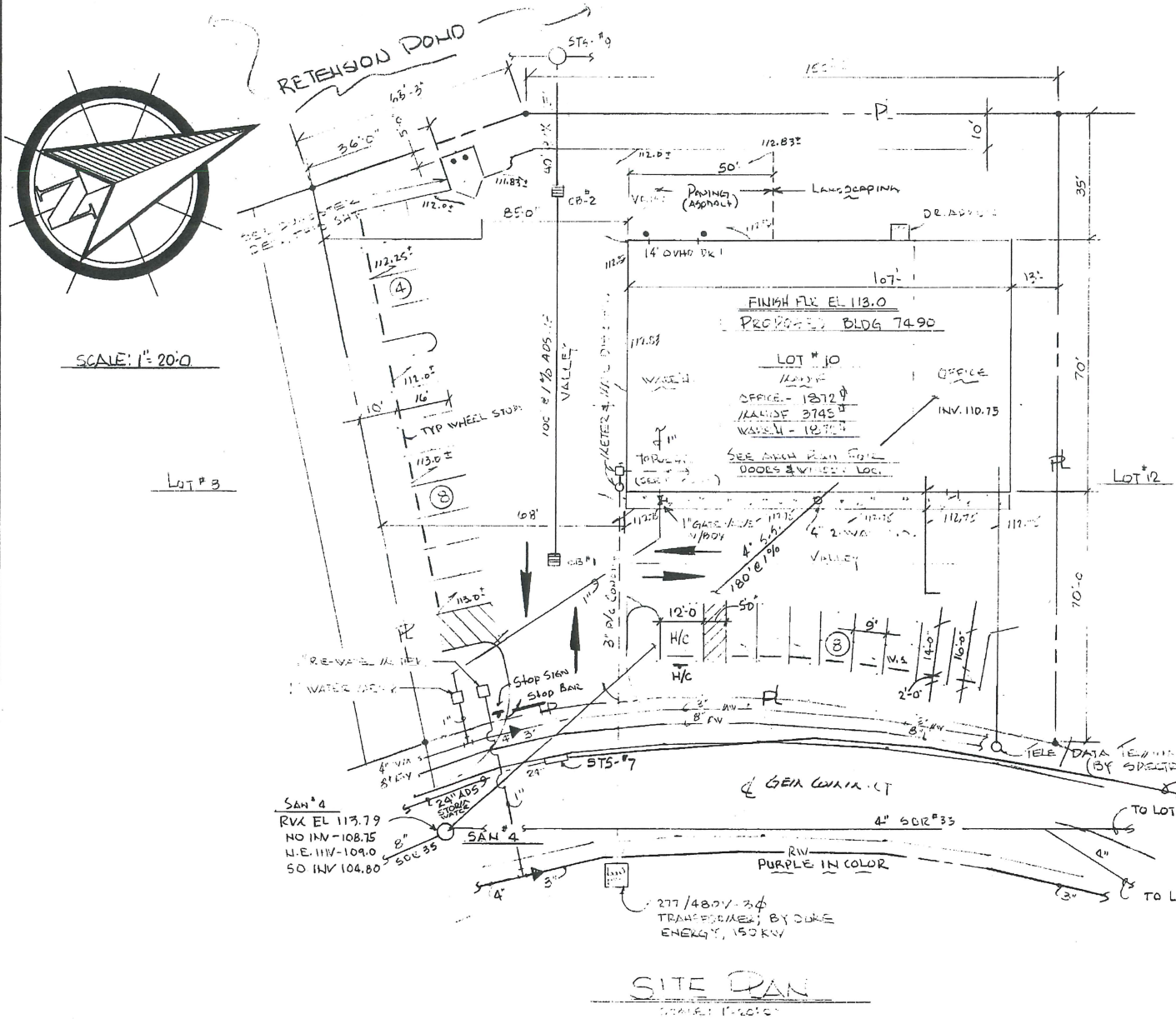
COVER

NO.	REVISION/ISSUE	DATE
1	CITY COMMENTS	1/18

ENGINEER OF RECORD
KEN EHLERS, P.E.
FLORIDA P.E. LICENSE NO. 18243
PROFESSIONAL ENGINEERING SERVICES
6034 FALCONBRIDGE PLACE
MOUNT DORA, FL 32757
CELL PHONE: (407) 448-3412

PROJECT NAME
**MARSHALL LAKE
BUILDING, L.L.C.
LOT #10**

DWG SHEET 1-3	SHEET
DATE AUGUST, 2017	1
SCALE AS SHOWN	



SITE DATA TABLE	
PARCEL ID NUMBER	LOT #10
FUTURE LAND USE	PUD
ZONING	PUD
ACREAGE/SQURE FOOTAGE	.76 ACRE/ 33,196 SQFT
OVERLAY DISTRICT	
ADJACENT LAND USE	North: Vacant East: Vacant South: Vacant West: Retention Pond
ADJACENT ZONING	North: PUD East: PUD South: PUD West: PUD
BUILDING HEIGHT	Proposed: 28' Max: 75'
FLOOR AREA RATIO	Proposed: .22 Max: .60
BUILDING SETBACKS	Proposed: Front: 70' No.Side: 13' So.Side: 68' Rear: 35' Corner: N/A Required: Front: 25' Side: 10' Rear: 10' Corner: N/A
PARKING SPACES	Provided: 20 Required: 20
TREE BANK MITIGATION FEE	N/A
NUMBER OF EMPLOYEES	10
WAIVER REQUEST	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
VARIANCE REQUEST	YES <input type="checkbox"/> NO <input type="checkbox"/>

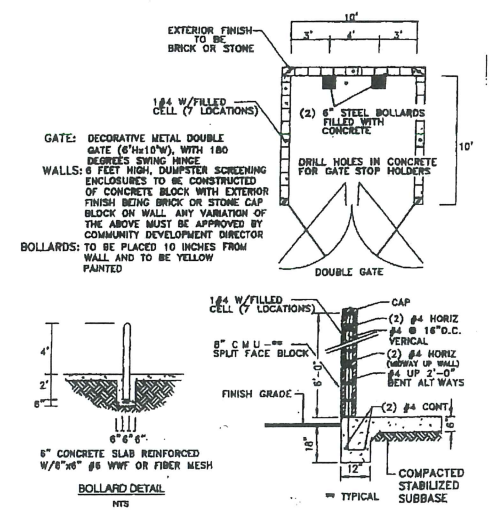
Parking Requirements:
 Warehouse/Manufacturing 5,617 SqFt = 5.6 x 2 = 12 Spaces
 Office 1,872 SqFt/250 SqFt = 8 Spaces
 Total Parking Spaces Required: 20 (Provided 20)
 Handicap Required: 1

CB-1: Rim - 112.50 WEST Inv. - 108.00	CB-2: Rim - 111.75 EAST Inv. - 107.00 WEST Inv. - 106.92	ST-9: RIM - 111.25 TO INV - 107.11 SO INV - 107.11 ELEV - 106.52
---	---	--

- Notes:**
- All piping is manufactured by Advance Drainage systems.
 - All concrete structures manufactured by Mack Concrete.

Storm Water Pervious/Impervious Requirements:
 Approved by SJRWMD
 Pervious 20%
 Impervious 80%
 Property = 33,196 SqFt
 Pervious = 9,316 Sq Ft/28.1%
 Impervious = 23,880 SqFt/71.9%

- WAIVER REQUEST:**
- After DRC Committee Review, and so long as there are no major problems, move directly to City Council approval due to time restraints.

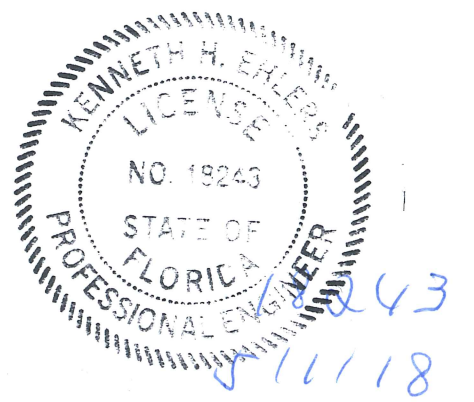
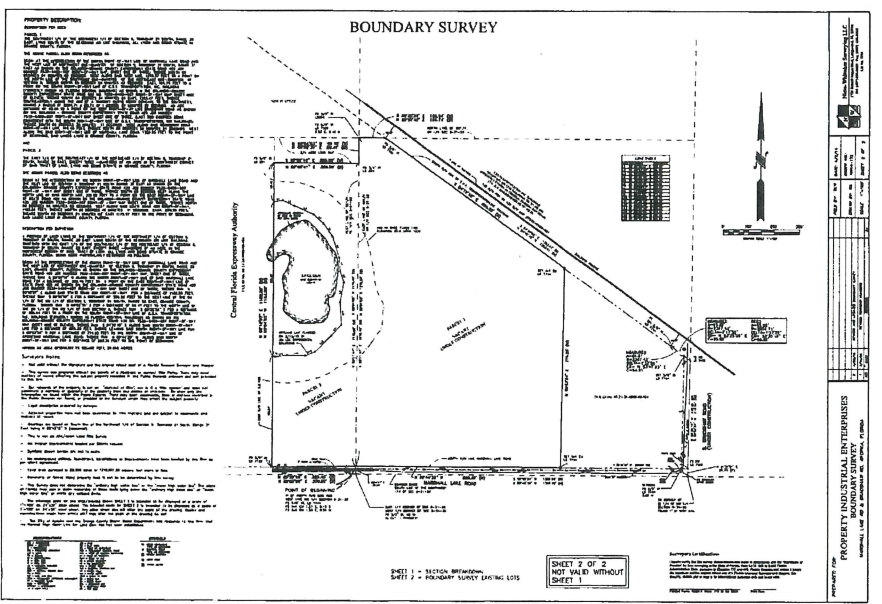


CITY OF APOPKA
 DESIGN ENGINEERING DIVISION
 JANUARY 2014
 FIG. 601

See Final Development Plans for Lake Gem Commerce Park, Dated August 2017, Signed and Approved by C.O.A. on March 21, 2018.

- Ref. Notes:**
- Potable and reclaimed water meters to be installed by the Developer and not C.O.A.
 - All equipment (including roof top), water mains, lift stations, backflow preventers and utility boxes must be fully screened (including the rear of the building).
 - Paving: 12" stabilized sub-grade compacted to 98% modified proctor, concrete fines/limestone; 6" base compacted to 98% modified proctor. Asphalt; 1 1/2" Type S-111.

See Final Development Plans for Sanitary Sewer, Fire Water, Domestic Water and Storm Water details.

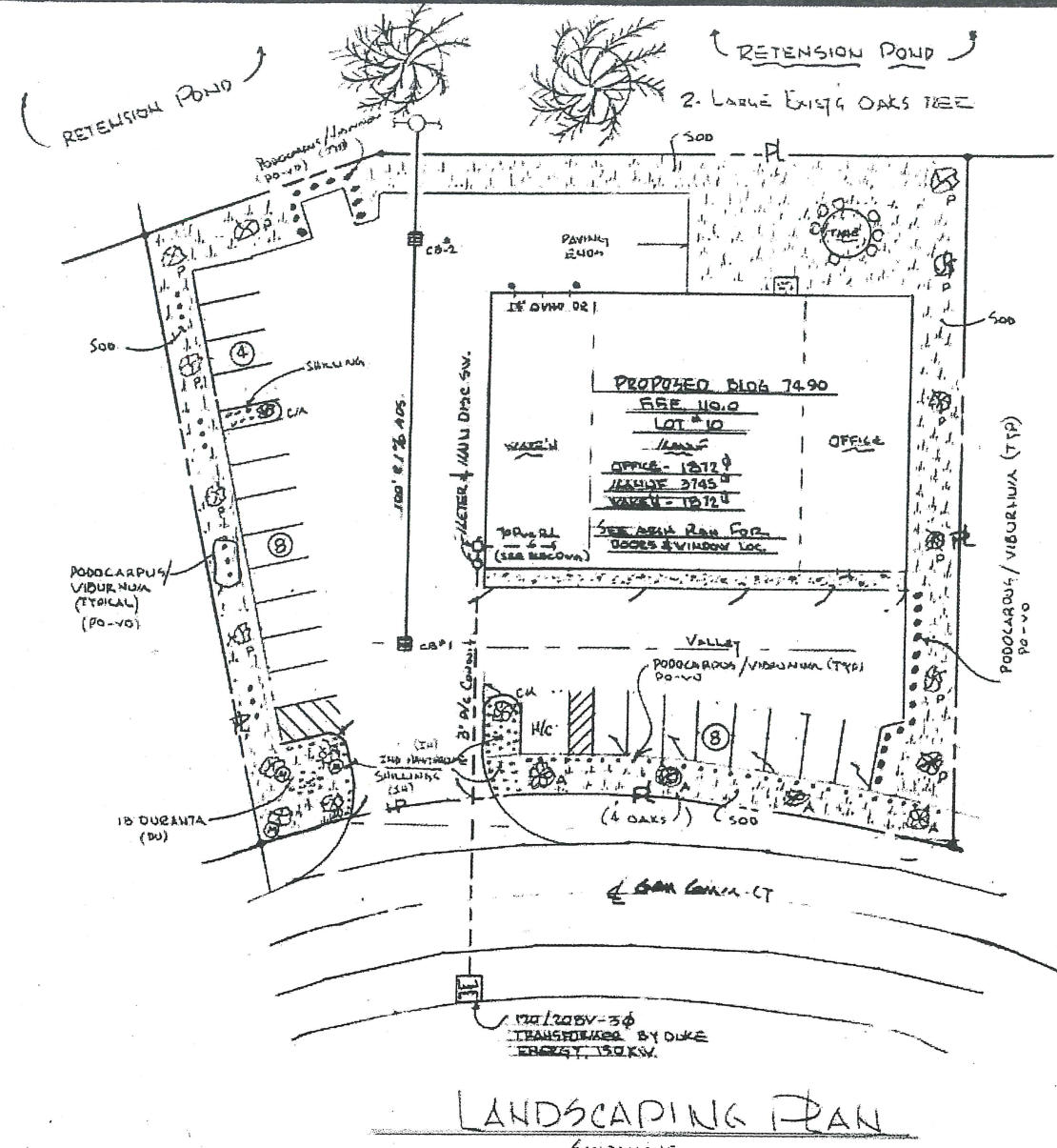


REVISIONS	BY

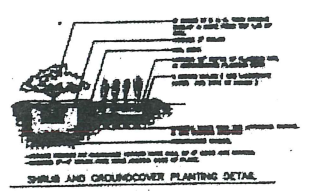
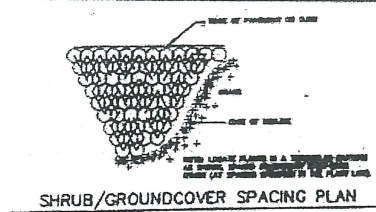
MARSHALL LAKE BLDG LLC
 GEIK COMMERCIAL LOT #10
 APOPKA FL 32703

LAKE GEM COMMERCE PARK
 MARSHALL LAKE LLC
 APOPKA FL 32703

DRAWN 1/21
CHECKED 1/21
DATE Apr 20, 2018
SCALE As NOTED
JOB NO. 18-004
SHEET S-1



LANDSCAPING PLAN
SCALE: NONE



Landscaping Material Schedule
 Note:
 A - OAK - 3" cal. minimum - LIVE OAKS - QTY 4
 M - Magnolia - 3" cal. minimum - BRACKEN'S BROWN - QTY 4
 P - Palms - 3" cal. minimum - CASAB PALM - QTY 11
 CM - Crepe Myrtle, Montague (red) - QTY 2

Notes:
 VO - Viburnum OBOVATUM WALTERS OENSA } QTY 64
 PO - Podocarpus MACROPHYLLUS }
 Notes:
 IH - Italian Hawthorn ALBA - QTY 90
 GC - Ground Cover
 DU - DUNE GOLD JACQUIN QTY 30
 SH - SHILLING - DWARF TAUNTON HOLLY - QTY 40
 Notes:

- The landscape contractor shall review site drawings to determine the location of all underground utilities and coordinate placement of landscape materials accordingly.
- All plant materials shall be located at 36" on center.
- All plants to be No 1 or better and meet all City of Apopka Codes and Ordinances.
- All grass areas of trees, plants and soil to be irrigated accordingly.
- All plants and beds shall receive mulch accordingly.
- All trees shall be braced/retained to withstand nature's wind forces. Type of brace shall be of type not to injure the tree trunk.
- All trees shall receive the necessary irrigation until the root systems and tree itself can sustain its own growth through nature's irrigation system.
- All shall be Argemone Balls.
- All equipment (including roof top equipment) and utility boxes must be fully protected (including back of building).

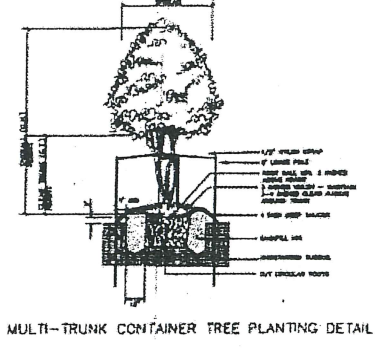
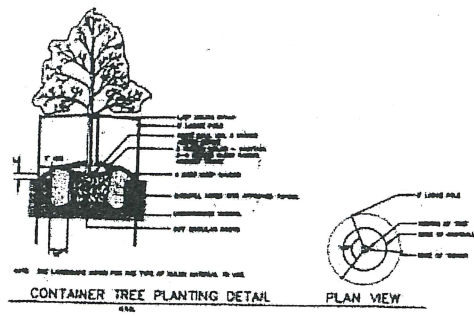
LANDSCAPE AND IRRIGATION DESIGN
 I certify that the Landscape and Irrigation design for this project is in accordance with City of Apopka Ordinance 2009 adopted May 21, 2008, which establishes water wise landscape and irrigation standards.
 Note: Irrigation systems are not allowed.

Michael R. Cooper, Developer

SITE DATA TABLE	
PARCEL ID NUMBER	LOT #10
FUTURE LAND USE	PUD
ZONING	PUD
ACREAGE/SQURE FOOTAGE	.76 ACRE/ 33,196 SQFT
OVERLAY DISTRICT	
ADJACENT LAND USE	North: Vacant East: Vacant South: Vacant West: Retention Pond
ADJACENT ZONING	North: PUD East: PUD South: DUCS West: PUD
BUILDING HEIGHT	Proposed: 28' Max: 75'
FLOOR AREA RATIO	Proposed: .22 Max: .60
BUILDING SETBACKS	Proposed: Front: 10' No.Side: 15' So.Side: 50' Rear: 15' Corner: N/A Required: Front: 25' Side: 10' Rear: 10' Corner: N/A
PARKING SPACES	Provided: 20 Required: 20
TREE BANK MITIGATION FEE	N/A (NO TREES)
NUMBER OF EMPLOYEES	10
WAIVER REQUEST	YES NO
VARIANCE REQUEST	YES NO

- Request after DRC Committee Review and so long as there are no major problems, waive Planning & Zoning review due to time restraints.
- Request permission to waive the requirement for landscape drawings to be signed and sealed by a Registered Landscape Architect and in place have Mr. William Stuhre, PHD, a Registered Architect, sign and seal Landscape and Irrigation drawings. Please note that all landscape and irrigation will be in accordance with C.O.A. Ordinance #2069.

Pro-Professional Sign



LANDSCAPE PLAN

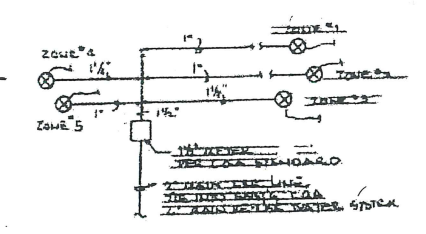
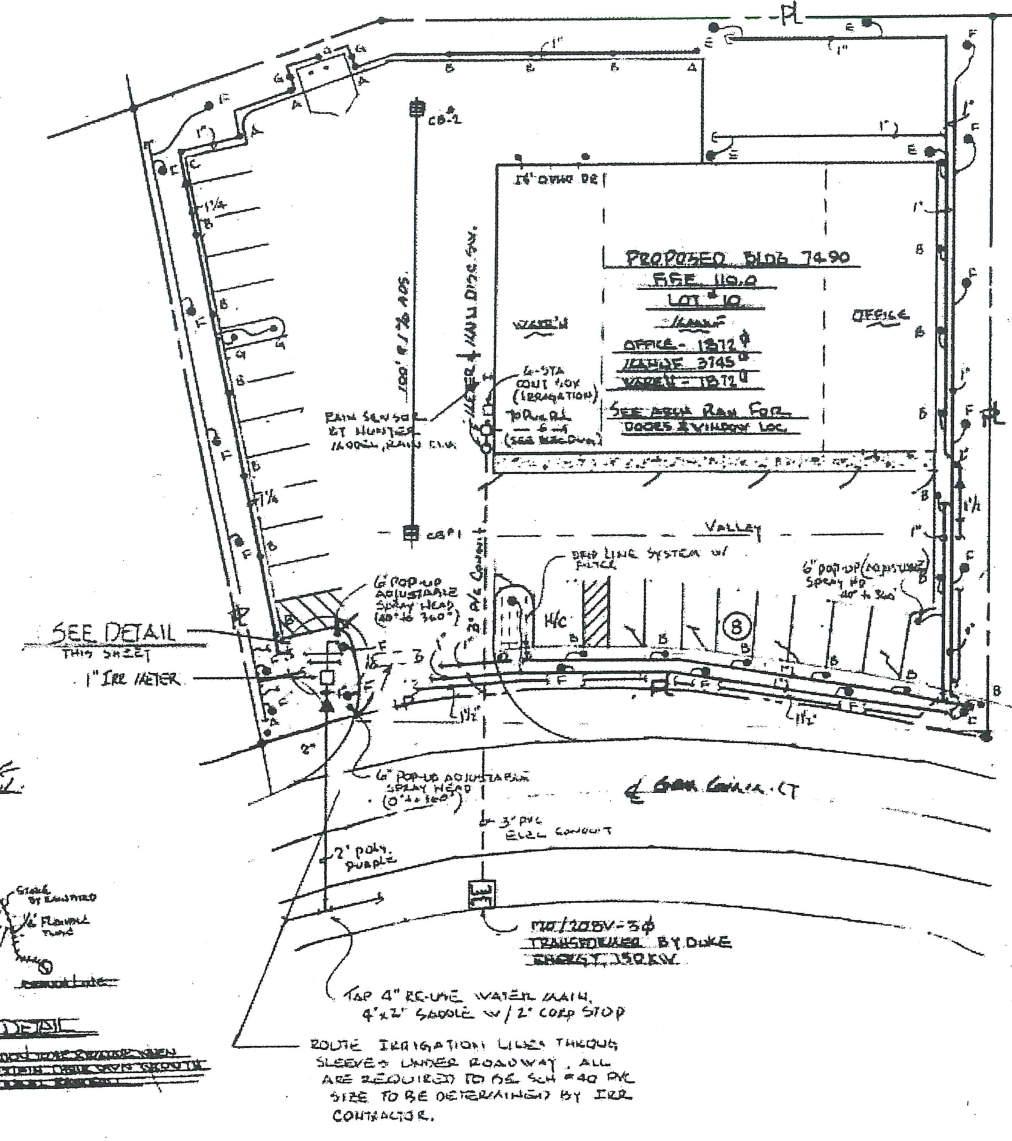
REVISIONS	BY

MARSHALL LAKE BLDG LLC
 GEIA COMMERCE LOT #10
 APOPKA FL 32703

LAKE GEIA COMMERCE PARK
 MARSHALL LAKE RD
 APOPKA FL 32703

DATE	APRIL 20, 2018
SCALE	NONE
JOB NO.	18-004
DRAWN	
CHECKED	
DATE	
SCALE	
JOB NO.	
DRAWN	
CHECKED	

[Handwritten Signature]
 4/30/18



DETAIL OF IRRI VALVE ARRANGEMENT
SEE POINT SCHEDULE FOR HEIGHT

NO IRRIGATION RISERS ALLOWED

- ZONE #1 - East & North, Sod, Shrubs and Drip Line
- ZONE #2 - East & North, Tree Drip or Bubblers
- ZONE #3 - North & West, Sod and Shrubs
- ZONE #4 - South, Tree Drip or Bubblers
- ZONE #5 - South & West, Sod and Shrubs

- LEGEND:
- A - X SPRAY HEAD, 6" POP-UP
 - B - X SPRAY HEAD, 6" POP-UP
 - C - X SPRAY HEAD, 6" POP-UP
 - D - FULL SPRAY HEAD, 6" POP-UP
 - E - ROTOR TYPE, ADJUSTABLE, 35' RANGE
 - F - TREE BUBBLER, 1/8" TUBE, DIRECT FED
 - G - SHRUB HEAD, 6" POP-UP
 - X - ELECTRIC (24V) ZONE CONTR VALVE

1" PGV & PGV JAR TOP

- FEATURES
- External and internal manual bleed allows quick and easy "at the valve" activation
 - Double-banded diaphragm seal design assures best-in-class performance
 - Durable glass-filled nylon threaded bonnet ring allows easy access without tools (See Test)
 - Optional DC latching solenoid enables remote, battery-powered controllers
 - Capnet bonnet both provide hassle-free valve maintenance
 - Low flow capacity allows use of Hunter's micro irrigation products
 - Encapsulated 1/2 VAC solenoid with captive pump for hassle-free service
 - Temperature rating: 150°F
 - Warranty period: 2 years
 - Flow control
 - Actu-Sync™ pressure regulation
 - Optional reclaimed water (R) handle

- OPERATING SPECIFICATIONS
- Flow: PGV-100: 0.2 to 40 GPM, PGV-101: 0.2 to 40 GPM
 - Recommended pressure range: 20 to 150 PSI

- SOLENOID SPECIFICATIONS
- 24 VAC solenoid
 - 250 mA resist, 100 mA holding, 60 Hz
 - 370 mA resist, 230 mA holding, 50 Hz

- FACTORY INSTALLED OPTIONS
- Valve without solenoid
 - DC latching solenoid

- USER INSTALLED OPTIONS
- Solenoid conduct cover (P/N 464322)
 - DC latching solenoid (P/N 454205)
 - Actu-Sync™ pressure regulator
 - Reclaimed water (R) handle for PGV-101 models (P/N 259205)
 - Advantech Feature descriptions on page 21
 - Actu-Sync product information on page 25

SITE DATA TABLE	
PARCEL ID NUMBER	LOT #10
FUTURE LAND USE	PUD
ZONING	PUD
ACREAGE/SQUARE FOOTAGE	.76 ACRE/ 33,196 SQFT
OVERLAY DISTRICT	
ADJACENT LAND USE	North: Vacant East: Vacant South: Vacant West: Retention Pond
ADJACENT ZONING	North: PUD East: PUD South: PUD West: PUD
BUILDING HEIGHT	Proposed: 28' Max: 75'
FLOOR AREA RATIO	Proposed: .22 Max: .60
BUILDING SETBACKS	Proposed: Front: 7' No Side: 15' No Side: 4' Rear: 35' Corner: N/A Required: Front: 35' Side: 10' Rear: 10' Corner: N/A
PARKING SPACES	Provided: 20 Required: 20
TREE BANK MITIGATION FEE	N/A
NUMBER OF EMPLOYEES	30
VARV REQUEST	YES NO
VARIANCE REQUEST	YES NO

- IRRIGATION NOTES:
- All pipe shall be the purple reuse type (PVC)
 - All valve boxes shall have purple lids to indicate the presence of re-use water.
 - All equipment shall be installed as per all local, county and state codes. Provide and install all required re-use signs.
 - Refer to the landscape plans when trenching to avoid trees and shrubs. Hand dig around any existing trees and do not cut any roots over 2" in diameter.
 - All mainline piping shall be buried to a minimum depth of 18" cover. All lateral piping shall be buried to a minimum depth of 12" cover.
 - Adjust all nozzles to reduce water waste on hard surfaces & building, wall throttle all valves on shrub lines as required to prevent fogging. Use adjustable nozzles where required to avoid any water on building windows.
 - Any piping shown outside the property line or running outside a landscape area is shown for clarity only. All lines shall be installed on the property and inside the landscape area or inside a 50' x 40' slope.
 - The contractor shall exercise care so as not to damage any existing utilities. The contractor shall be responsible for the immediate repairs and cost of any damage caused by their work.
 - All work shall be guaranteed for one year from the date of final acceptance against all defects in equipment and workmanship (as outlined in the written specifications).
 - Contractor to call 1-800-432-2770 (Sunshine State One Call Center), 48 hours before digging.
 - All reclaimed water lines to be 1" unless otherwise noted.
 - Plant beds must be irrigated with drip, micro-sprayer or bubblers.
 - Water velocity will not exceed five (5) feet/second.
 - Irrigation must be installed 24" from vertical structures.
 - Landscape areas that have both shrubs and grass will be irrigated by spray system.

IRRIGATION RISERS ARE NOT ALLOWED.

LANDSCAPE AND IRRIGATION DESIGN

I certify that the landscape and irrigation design for this project is in accordance with City of Apopka Ordinance 2069 adopted May 21, 2008 which establishes water wise landscape and irrigation standards.

Michael R. Cooper

RAIN-CLIK™

- FEATURES
- Quick Response™ feature shuts the system off as soon as it starts raining
 - Maintenance-free design with 10-year battery life for Wireless Rain-Clk
 - Adjustable vent ring allows for setting of reset delay
 - Rugged polycarbonate housing and metal extension arm
 - Rain-Clk includes 25' of 20 AWG shielded, bare-conductor, UL-approved wire
 - Wireless unit available with 800' range from wireless sensor to receiver
 - Warranty period: 5 years (10 year battery warranty for wireless model)
 - Compatible with most controllers

- SPECIFICATIONS
- Wiring: normally open or normally closed
 - Time to turn off irrigation system: 2 to 5 minutes approx. for Quick Response
 - Time to reset Quick Response: 2 hours approx. under dry, sunny conditions
 - Time to reset when fully wet: 3 days approx. under dry, sunny conditions
 - UL listed, CSA, CE
 - Switch rating: 24 VAC, 3 A
 - Freeze sensor shuts system off when temperature falls below 37°F (Rain/Freeze-Clk model)
 - System operating frequency: 433 MHz (wireless model)
 - Communication range up to 800' line of sight (wireless model)
 - Rain/Freeze-Clk shuts system off when temperature falls below 37°F
 - Receiver input power: 24 VAC (from controller)

- APPROVALS
- UL listed, FCC approved, CSA, CE

RAIN-CLIK	Model	Description
RAIN-CLIK	RAIN-CLIK	Rain-Clk sensor
RAIN-CLIK	RAIN-CLIK	Rain/Freeze-Clk sensor
RAIN-CLIK	RAIN-CLIK	Wireless Rain-Clk receiver
RAIN-CLIK	RAIN-CLIK	Wireless Rain-Clk Transmitter (100V)
RAIN-CLIK	RAIN-CLIK	Wireless Rain-Clk Transmitter (120V)
RAIN-CLIK	RAIN-CLIK	Wireless Rain-Clk Receiver (100V)
RAIN-CLIK	RAIN-CLIK	Wireless Rain-Clk Receiver (120V)

IRRIGATION PLAN

REVISIONS	BY

MARSHALL LAKE BLDG LLC
GEIX COMMERCE CT LOT #10
APOPKA FL 32703

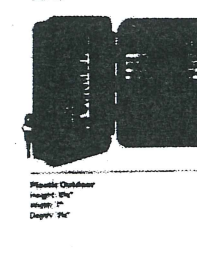
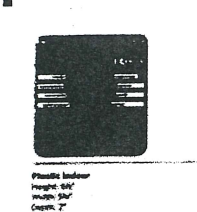
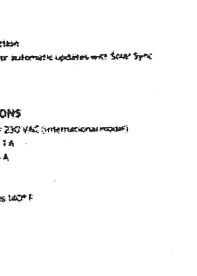
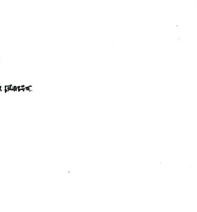
LAKE GEIX COMMERCE PARK
MARSHALL LAKE RD
APOPKA FL 32703

DATE	SCALE	JOB NO.	DESIGN
APRIL 20 2018			

X-CORE™

- FEATURES
- Number of stations: 2, 4, 6, 8
 - Type: Fixed
 - Enclosures: indoor or outdoor plastic
 - Independent programs: 3
 - Start times per program: 4
 - Max. station run time: 4 hrs
 - Built-in Solar Sync™
 - Programmable rain delay
 - Non-volatile memory
 - Warranty period: 2 years
 - Easy firmware memory
 - QuickCheck™
 - Cycle and Soak
 - Solar Sync Delay
 - Automatic short circuit protection
 - Seasonal Adjustment: Calendar or automatic updates with Solar Sync
 - Delay between stations
 - Sensor programmability

- ELECTRICAL SPECIFICATIONS
- Transformer input: 120 VAC or 230 VAC (international model)
 - Transformer output (24 VAC): 3 A
 - Station output (24 VAC): 0.56 A
 - PC/MV (24 VAC): 0.28 A
 - Sensor inputs: 1
 - Operating temperature: 27°F to 140°F



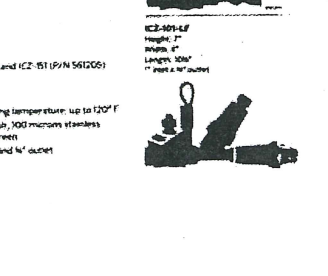
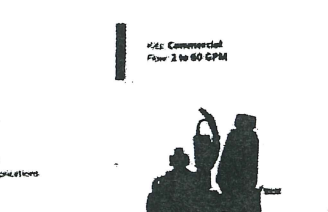
DRIP CONTROL ZONE KITS

- FEATURES
- Highly quality components
 - Factory assembled to save installation time
 - Fiber Sensing™ diaphragm screen cleaning system
 - Wide flow range to cover most micro irrigation applications
 - Warranty period: 5 years

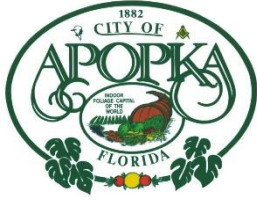
- FACTORY INSTALLED OPTIONS
- 75 or 40 PSI regulator (ICZ-101)

- USER INSTALLED OPTIONS
- Reclaimed water (R) handle for ICZ-101-LF, ICZ-101-R and ICZ-101-UPN (562005)

- ICZ-101-LF
- Pressure Regulation: 25 or 40 PSI
 - Flow: 0.5 to 0.9 GPM (12 to 900 GPH)
 - Operating Pressure: 20 to 120 PSI
 - Operating temperature: up to 120°F
 - 150 mesh, 100 micron stainless steel screen
 - 1" inlet and 1/2" outlet



4/30/18



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	MEETING OF:	June 26, 2018
<input type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Plat		Aerial Map
<input type="checkbox"/>		Plat
<input type="checkbox"/>		Final Development Plan

SUBJECT: PLAT - LAKESIDE, PHASE 1 RESIDENTIAL SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE LAKESIDE, PHASE 1 PLAT

SUMMARY:

OWNERS: Avatar Properties Inc., James D & Deborah M. Lyda

APPLICANT: Appian Engineering, LLC. c/o Luke M. Classon, P.E.

LOCATION: South of Marshall Lake and West of SR 451

FUTURE LAND USE: Low Density Residential, Mixed-Use

ZONING: PUD (Planned Unit Development)

EXISTING USE: Vacant land

PROPOSED USE: 177 single-family homes

TRACT SIZE: 114.288 +/- acres

DEVELOPABLE AREA: 79.46 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Low Density Residential (0-5 du/ac)	R-3	Marshall Lake, Lake Doe Estates subdivision
East (City)	Industrial, None assigned (SR 451 right-of-way)	I-1, no zoning assigned	Existing agricultural use (John’s Nursery), SR 451 right-of-way
South (City)	Low Density Residential (0-5 du/ac), Commercial (max 0.25 FAR)	R-1A, C-1	Vacant property, SR 451 retention pond
West (City)	Low Density Residential (0-5 du/ac)	R-1A, R-2, PUD	Breckenridge residential subdivision buffer tract, vacant property

Project Use: On April 4, 2018 the City Council approved a PUD Master Plan/Preliminary Development Plan for the Lake Marshall subdivision, which details the development of 301 single family residential lots in two phases. The subject property is located south of Marshall Lake and west of SR 451. The surrounding properties consist primarily of single-family residential, and agricultural uses. The developer has submitted a Final Development Plan and Plat for phase 1 of the Lake Marshall subdivision, now named Lakeside.

The applicant is requesting approval of the Plat for Phase 1 of Lakeside. The Lakeside Phase 1 plat is for 177 single-family residential lots. All internal roadways are proposed as privately owned and maintained, and the subdivision will be gated. The plat for Phase 2 will be submitted in the future. Consistent with the approved PUD Master Plan/Preliminary Development Plan, lot widths of 60-feet and 75-feet are provided on the Phase 1 plat. A minimum living area of 1,800 square feet is provided for all units located within Phase 1.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25’
Side	5’
Rear	20’
Corner	15’

Access: Ingress/egress access points for the development will be via Johns Road. Adjacent to the west of the subject property is the Breckenridge subdivision. A gated access for emergency vehicles will be provided between the two subdivisions. This access point will only be for emergency vehicles. In response to the Breckenridge homeowners association, pedestrian access will not be permitted between the two subdivisions.

Stormwater: There are three (3) retention ponds designed to meet the City’s Land Development Code requirements.

Recreation: The recreation package will consist of a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. In addition the developer is dedicating a tract in Phase 1 adjacent to Marshall Lake as a Community Lake Park that will have a community dock, and a 1.03 acre open space tract across the street from this park. In the Phase 2 area, two tracts will be dedicated as a park/open space area, and a 15.12 acre Conservation area will also be dedicated.

Buffer/Tree Program: Consistent with the approved PUD Master Plan/Preliminary Development Plan, landscaping is provided at the subdivision entrance on Johns Road, and a 5-foot landscape buffer is provided along the rear of lots 1-24. An existing 50-foot landscape buffer occurs along the western and northern project line within the Breckenridge plat. This buffer is noted as a tract on the Breckenridge plat. The Lake Marshall development will not be visible from the homes within Breckenridge.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	13,947
Total number of specimen trees:	100
Total inches removed:	12,776
Total inches retained:	361
Total inches replaced:	3,701
Total Inches (Post Development):	4,311

SCHOOL CAPACITY REPORT: The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The schools zoned to receive students from this community are the following: Apopka Elementary School, Wolf Lake Middle School and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

June 26, 2018 - Planning Commission, 5:30 p.m.
July 18, 2018 - City Council, 7:00 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Lakeside, Phase 1 Plat subject to the final review by the City surveyor and city engineer prior to recording the plat.

Recommended Motion: Recommend approval of the Lakeside, Phase 1 Plat, subject to the Conditions of Approval and final review by the City surveyor and city engineer prior to recording the plat.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Lakeside, Phase 1 plat
Owners: Avatar Properties, Inc.; James D. & Deborah Lyda
Project Engineer: Appian Engineering, Inc., c/o Luke M. Classon, P.E.
Parcel ID#s: 08-21-28-0000-00-005
Total Acres: 114.288 +/-



VICINITY MAP





AERIAL MAP



LAKE SIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION

A TRACT BEING ALL OF THE LANDS DESCRIBED IN THAT CERTAIN WARRANTY DEED, AS RECORDED IN OFFICIAL RECORDS BOOK 9315, PAGE 3421 AND THE LANDS DESCRIBED IN THAT CERTAIN QUITCLAIM DEED, AS RECORDED IN OFFICIAL RECORDS BOOK 3877, PAGE 3994 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LYING IN SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 8, FOR A POINT OF BEGINNING; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TRACT "W", BRECKENRIDGE PHASE II, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 68, PAGES 150 THROUGH 153 OF SAID PUBLIC RECORDS; THENCE RUN NORTH 00°17'43" EAST, ALONG THE EAST LINE OF SAID PLAT OF BRECKENRIDGE PHASE II, A DISTANCE OF 1302.48 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF BRECKENRIDGE PHASE II; THENCE RUN SOUTH 89°05'44" WEST, ALONG THE NORTH LINE OF SAID PLAT OF BRECKENRIDGE PHASE II, A DISTANCE OF 920.74 FEET; THENCE DEPARTING SAID NORTH LINE, RUN NORTH 00°04'11" EAST, 343.00 FEET; THENCE RUN SOUTH 89°05'44" WEST, 400.00 FEET TO A POINT LYING ON THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 8; THENCE RUN NORTH 00°04'46" EAST, ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 8, A DISTANCE OF 966.35 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 8; THENCE RUN NORTH 89°23'48" EAST, ALONG THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION 8, A DISTANCE OF 2643.02 FEET TO THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8; THENCE DEPARTING SAID NORTH LINE, RUN SOUTH 00°14'00" WEST, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8 A DISTANCE OF 30.00 FEET; THENCE DEPARTING SAID EAST LINE, RUN SOUTH 89°23'48" WEST, 100.01 FEET; THENCE RUN SOUTH 00°14'00" WEST, 383.74 FEET; THENCE RUN NORTH 89°23'24" EAST, 347.63 FEET; THENCE RUN SOUTH 00°10'50" WEST, 41.32 FEET; THENCE RUN SOUTH 89°48'48" EAST, 60.00 FEET; THENCE RUN SOUTH 00°11'21" WEST, 227.85 FEET; THENCE RUN SOUTH 61°33'29" EAST, 144.33 FEET; THENCE RUN SOUTH 46°46'48" EAST, 8.49 FEET; THENCE RUN SOUTH 11°30'21" WEST, 566.65 FEET TO A POINT LYING ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8; THENCE RUN SOUTH 89°47'21" WEST, ALONG SAID NORTH LINE, 39.81 FEET; THENCE DEPARTING SAID NORTH LINE, RUN SOUTH 00°12'39" WEST, 35.00 FEET; THENCE RUN SOUTH 89°47'21" WEST, 950.03 FEET TO A POINT LYING ON THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8; THENCE RUN SOUTH 00°15'51" WEST, ALONG SAID EAST LINE, 911.99 FEET TO A POINT LYING ON THE SOUTH RIGHT-OF-WAY LINE OF JOHN'S ROAD, ACCORDING TO THAT CERTAIN RIGHT-OF-WAY AGREEMENT, AS RECORDED IN OFFICIAL RECORDS BOOK 1981, PAGE 296, OF SAID PUBLIC RECORDS; THENCE DEPARTING SAID EAST LINE, RUN SOUTH 89°49'08" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 659.83 FEET; THENCE RUN NORTH 00°19'13" EAST, ALONG THE EAST LINE OF SAID JOHN'S ROAD, 18.00 FEET TO A POINT LYING ON THE SOUTH RIGHT-OF-WAY LINE OF JOHN'S ROAD, PER THE PLAT OF JOHN'S ROAD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 95, PAGE 5, OF SAID PUBLIC RECORDS; THENCE RUN ALONG SAID SOUTH RIGHT-OF-WAY LINE, THE FOLLOWING FIVE COURSES: SOUTH 89°49'08" EAST, 527.68 FEET; THENCE RUN SOUTH 00°10'52" WEST, 2.35 FEET; THENCE RUN SOUTH 88°14'07" EAST, 4.89 FEET; THENCE RUN NORTH 00°10'52" EAST, 2.49 FEET; THENCE RUN SOUTH 89°49'08" EAST, 127.27 FEET; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, RUN SOUTH 00°12'09" WEST, 378.00 FEET TO A POINT LYING ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8; THENCE RUN NORTH 89°49'08" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 1980.15 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA AND CONTAINS 114.288 ACRES MORE OR LESS.

LEGEND

- P.O.B. - POINT OF BEGINNING
- O.R.B. - OFFICIAL RECORDS BOOK
- PG.(S) - PAGE(S)
- SEC. - SECTION
- C.C.R. - CERTIFIED CORNER RECORD
- R/W - RIGHT-OF-WAY
- L.S. - LICENSED SURVEYOR
- L.B. - LICENSED BUSINESS
- P.R.M. - PERMANENT REFERENCE MONUMENT
- C.M. - CONCRETE MONUMENT
- R.W.M. - RETAINING WALL MAINTENANCE EASEMENT
- U.E. - UTILITY EASEMENT
- L.E. - LANDSCAPE EASEMENT
- U.D.E. - UTILITY AND DRAINAGE EASEMENT
- P.C. - POINT OF CURVATURE
- P.T. - POINT OF TANGENCY
- P.B. - PLAT BOOK
- (N.R.) - NON-RADIAL
- F.K.A. - FORMERLY KNOWN AS
- P.I. - POINT OF INTERSECTION
- TYP. - TYPICAL

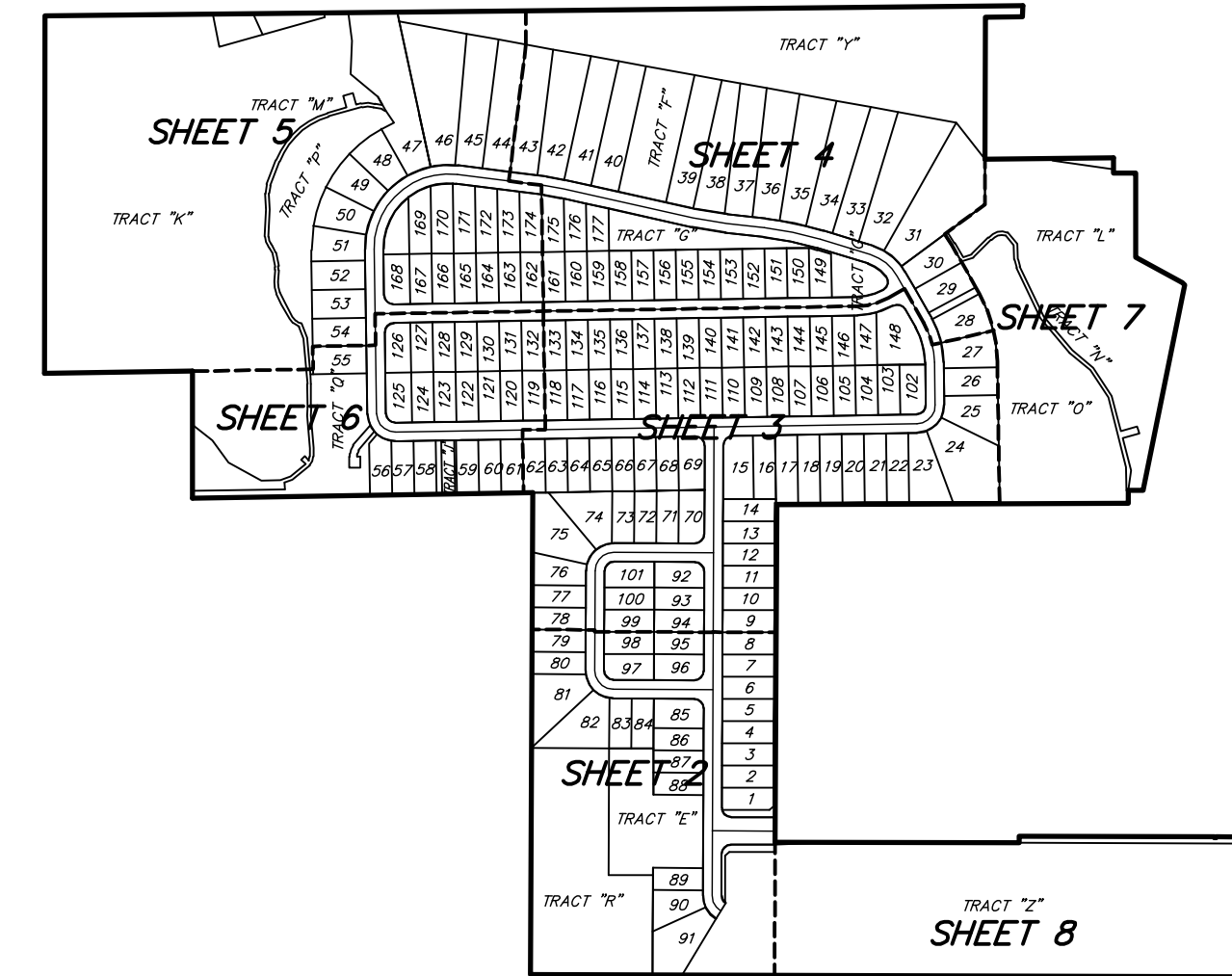
NOTICE:

"THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

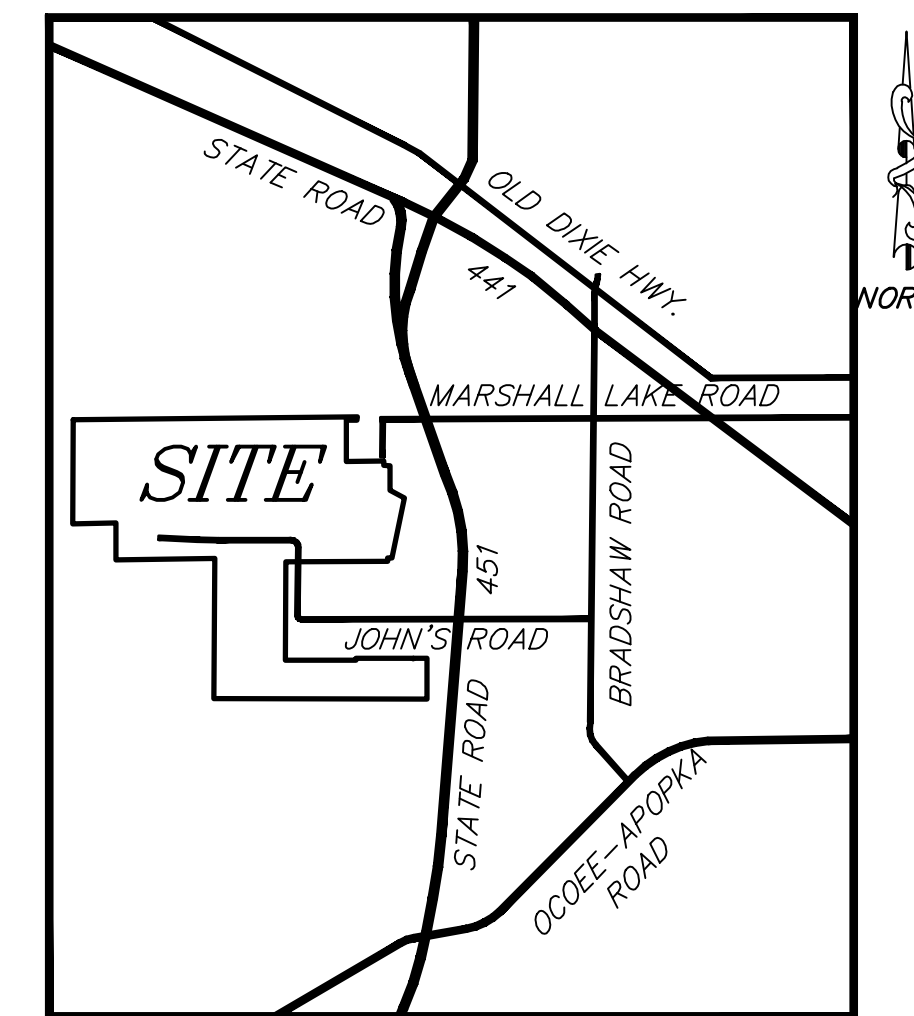
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY."

SURVEYOR'S NOTES:

- (1) BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM 1983 EAST ZONE, BASED ON GPS WITH L-NET CORRECTIONS. THE MONUMENTED SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, BEING NORTH 89°49'08" WEST.
- (2) — denotes a PERMANENT REFERENCE MONUMENT (P.R.M.) A SET 4" X 4" CONCRETE MONUMENT STAMPED PRM. L.S. # 4044, UNLESS OTHERWISE NOTED.
- (3) — denotes a PERMANENT CONTROL POINT (P.C.P.) A SET NAIL AND DISK STAMPED POP L.S. # 4044.
- (4) ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.
- (5) TRACT I (LIFT STATION), SHALL BE OWNED AND MAINTAINED BY THE CITY OF APOPKA, FLORIDA.
- (6) ALL LINES INTERSECTING CURVES ARE RADIAL UNLESS OTHERWISE NOTED.
- (7) TRACTS "K" AND "L" (CONSERVATION AREAS), SHALL BE OWNED AND MAINTAINED BY THE LAKE SIDE APOPKA HOMEOWNERS ASSOCIATION, INC., WITH DEVELOPMENT RIGHTS DEDICATED TO THE CITY OF APOPKA, FLORIDA. NO CONSTRUCTION, CLEARING, GRADING OR ALTERATION OF TRACTS "K" AND "L" IS ALLOWED UNLESS APPROVED BY THE CITY OF APOPKA AND THE OTHER APPLICABLE JURISDICTIONAL AGENCIES. TRACT "K" AND "L" ARE SUBJECT TO A CONSERVATION EASEMENT IN FAVOR OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT PURSUANT TO SECTION 704.06, FLORIDA STATUTES, TO BE DEDICATED BY SEPARATE INSTRUMENT IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- (8) TRACTS "A", "B", "C", "W" AND "X" (LANDSCAPE BUFFERS), SHALL BE OWNED AND MAINTAINED BY THE LAKE SIDE APOPKA HOMEOWNERS ASSOCIATION, INC.
- (9) TRACT "D" (PRIVATE RIGHT-OF-WAY), SHALL BE OWNED AND MAINTAINED BY THE LAKE SIDE APOPKA HOMEOWNERS ASSOCIATION, INC.
- (10) TRACT "E" (PARK), TRACT "F" (COMMUNITY LAKE PARK), TRACTS "G" AND "H" (OPEN SPACE), SHALL BE OWNED AND MAINTAINED BY THE LAKE SIDE APOPKA HOMEOWNERS ASSOCIATION, INC.
- (11) TRACT "J" (GATED EMERGENCY ACCESS), TRACT "Y" (COMMON AREA), TRACTS "S", "T" AND "AA" (H.O.A. TRACT), SHALL BE OWNED AND MAINTAINED BY THE LAKE SIDE APOPKA HOMEOWNERS ASSOCIATION, INC.
- (12) TRACTS "M" AND "N" (OPEN SPACE), TRACTS "O", "P", "Q" AND "R" (DRY PONDS), SHALL BE OWNED AND MAINTAINED BY THE LAKE SIDE APOPKA HOMEOWNERS ASSOCIATION, INC.
- (13) TRACT "Z" (FUTURE DEVELOPMENT), SHALL BE OWNED AND MAINTAINED BY AVATAR PROPERTIES INC.



KEY MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

PLAT BOOK PAGE
LAKE SIDE PHASE I

DEDICATION

KNOWN ALL MEN BY THESE PRESENTS, That the limited liability company named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes therein expressed and dedicates Tracts "U" and "V" public right-of-ways, and easements to the perpetual use of the public.

TRACT I, (Lift Station) is dedicated to the City of Apopka, a political subdivision of the State of Florida, its successors and assigns.

IN WITNESS WHEREOF, Avatar Properties Inc., a Florida corporation, has caused this Dedication to be executed in its name by the below-named officer thereto duly authorized this ____ day of _____, 2018.

Signed, sealed and delivered in the presence of the following two witnesses:

AVATAR PROPERTIES INC.
a Florida corporation

Print Name: _____ By: Ken Thiryacre
(Witness) (Witness) Division President

Print Name: _____
(Witness)

STATE OF FLORIDA

COUNTY OF _____

THIS IS TO CERTIFY that the foregoing Dedication was acknowledged before me this ____ day of _____, 2018, by Ken Thiryacre, as Division President of Avatar Properties Inc., a Florida corporation. Said person did not take an oath and is personally known to me or has produced the following identification _____

Print Name: _____
Notary Public - State of Florida
Commission No.: _____
My Commission Expires: _____

CERTIFICATE OF SURVEYOR AND MAPPER

KNOWN ALL MEN BY THESE PRESENTS, that the undersigned, being a licensed and registered surveyor and mapper, does hereby certify that on _____

a survey of the lands shown in the foregoing plat was completed; that said plat is a true and correct representation of the lands surveyed; that the plat was prepared under my responsible direction and supervision, and that this plat complies with all the survey requirements of Chapter 177 and Chapter 95.361, Florida Statutes.

Date: LS 4044 Surveyor's Signature
Surveyor's Registration Number: David A. White
LB 7808 Surveyor's Name (printed)
Certificate of Authorization Number
PEC - Surveying and Mapping, LLC
2100 Alafaya Trail, Suite 203, Oviedo, Florida, 32765

CERTIFICATE OF REVIEW BY CITY SURVEYOR

This plat has been reviewed for conformity with Chapter 95.361 and Chapter 177, Florida Statutes, as is appropriate.

By: Ralph A. Nieto, LS 6025

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, that on _____, 2018 the undersigned approved the foregoing plat.

By: _____
Chairman

CERTIFICATE OF APPROVAL BY THE MAYOR

THIS IS TO CERTIFY, that on _____, 2018 the undersigned approved the foregoing plat.

By: Bryan Nelson, Mayor of the City of Apopka

Attest: Linda F. Goff, City Clerk

CERTIFICATE OF APPROVAL BY CITY ENGINEER

THIS IS TO CERTIFY, that on _____, 2018 the undersigned approved the foregoing plat.

By: Richard W. Earp, City Engineer

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records on _____ print _____

Comptroller in and for Orange County, Florida

By: _____



SURVEYING AND MAPPING, LLC

CERTIFICATE OF AUTHORIZATION NUMBER LB 7808

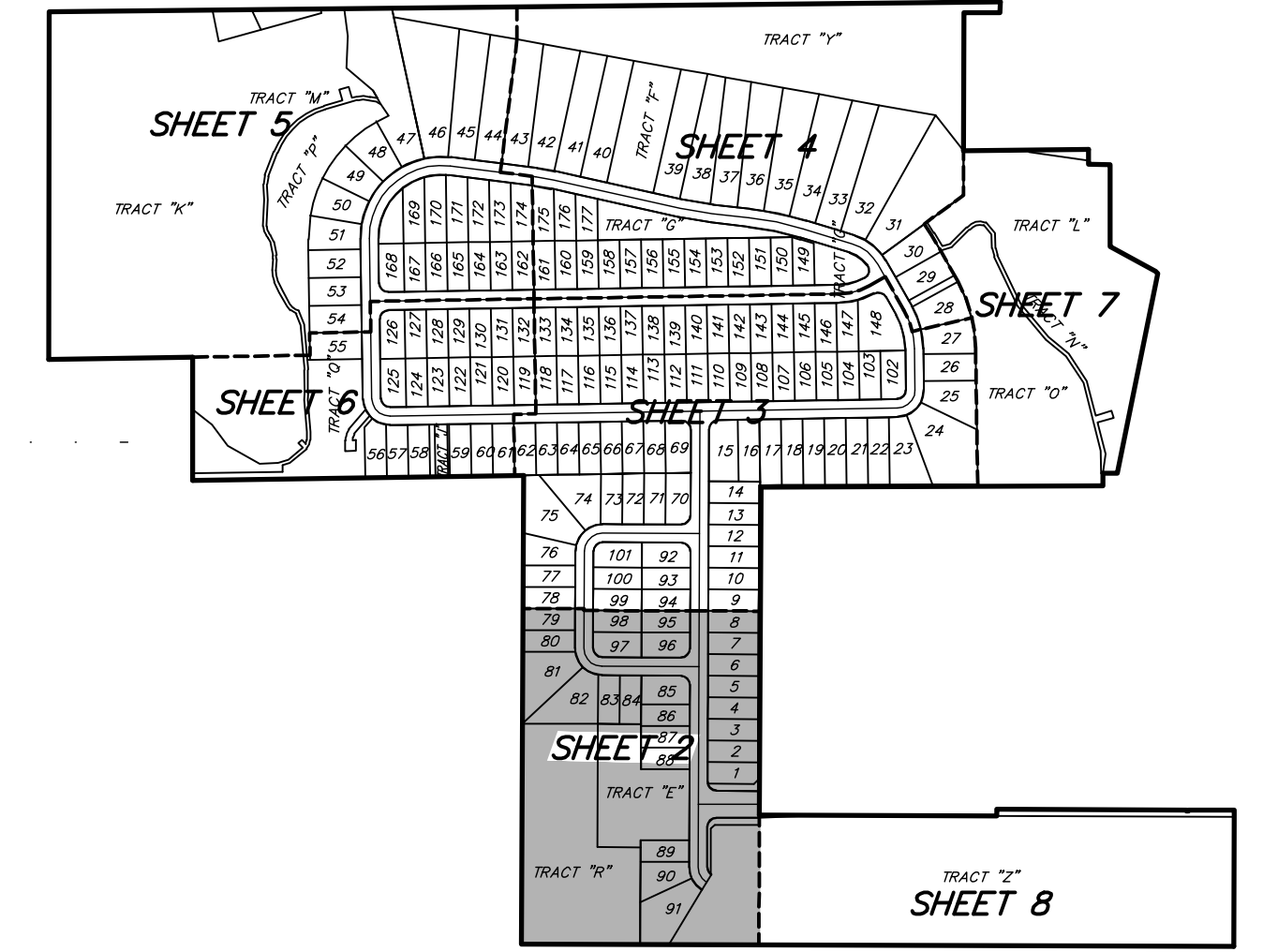
2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967

LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



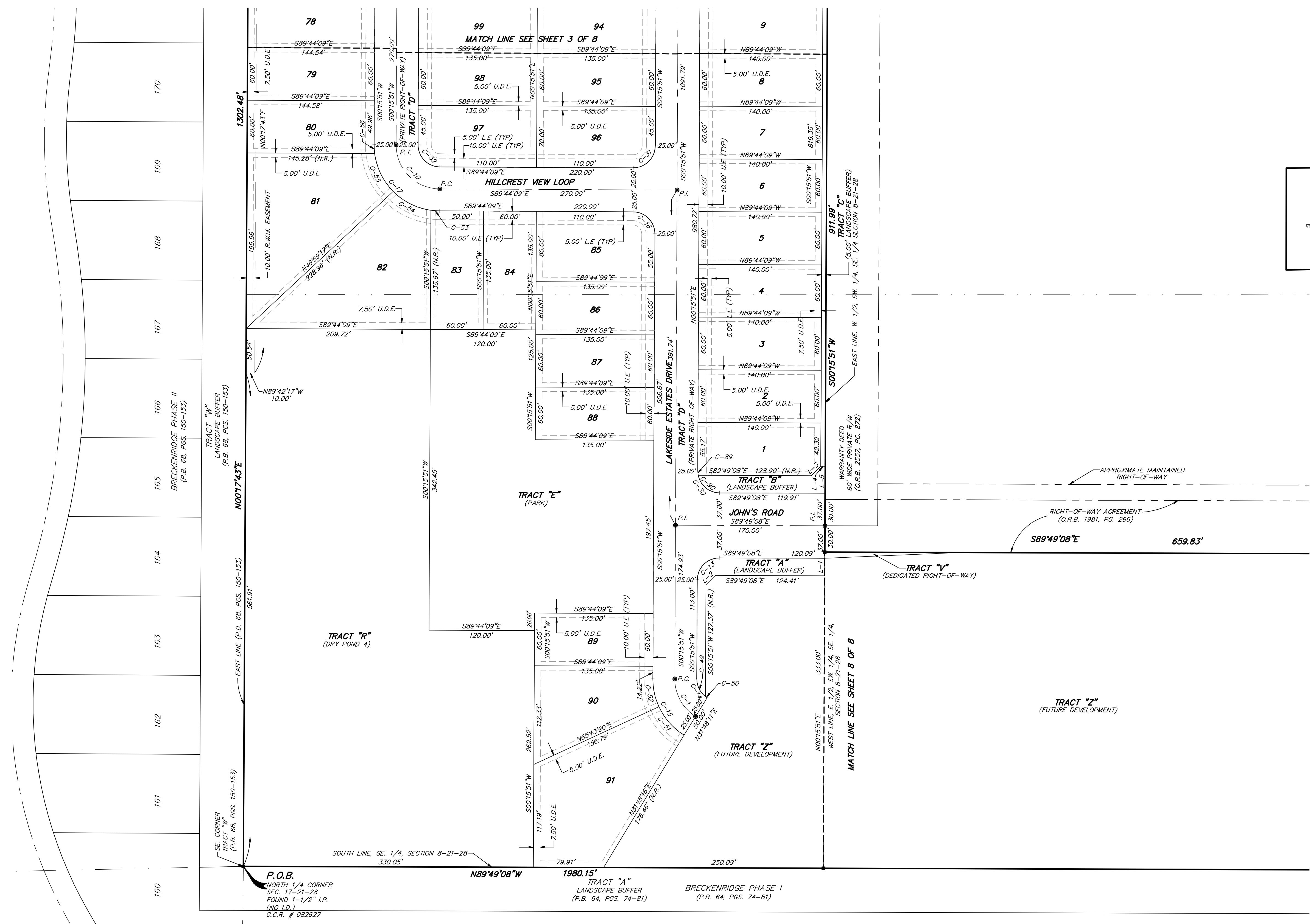
SCALE 1"=60'



KEY MAP
NOT TO SCALE

LINE	BEARING	LENGTH
L-1	S0015°51'W	20.00'
L-2	N45°10'52"E	15.00'
L-3	S45°10'52"W	15.00'
L-4	S89°44'09"E	5.00'
L-5	S0015°51'W	30.60'

CURVE	RADIUS	DELTA	LENGTH	CHORD	CH. BEARING
C-1	50.00'	58°27'40"	51.02'	48.83'	S28°57'59"E
C-10	50.00'	90°00'00"	78.54'	70.71'	S44°44'09"E
C-13	25.00'	89°55'01"	39.23'	35.33'	S45°13'22"W
C-14	25.00'	58°27'40"	25.51'	24.42'	S28°57'59"E
C-15	75.00'	58°27'40"	76.53'	73.28'	S28°57'59"E
C-16	25.00'	90°00'00"	39.27'	35.36'	S44°44'09"E
C-17	75.00'	90°00'00"	117.81'	106.07'	S44°44'09"E
C-30	25.00'	90°04'59"	39.31'	35.38'	S44°46'38"E
C-31	25.00'	90°00'00"	39.27'	35.36'	S45°15'51"W
C-32	25.00'	90°00'00"	39.27'	35.36'	N44°44'09"W
C-49	25.00'	53°07'48"	23.18'	22.36'	S26°18'03"E
C-50	25.00'	51°19'52"	23.33'	22.33'	S55°31'53"E
C-51	75.00'	33°29'09"	43.75'	43.13'	S41°29'15"E
C-52	75.00'	25°02'31"	32.78'	32.52'	S12°15'24"E
C-53	75.00'	7°39'44"	10.03'	10.02'	S85°54'17"E
C-54	75.00'	37°19'29"	48.86'	48.00'	S63°24'40"E
C-55	75.00'	37°19'05"	48.85'	47.99'	S26°05'23"E
C-56	75.00'	7°41'42"	10.07'	10.07'	S03°35'00"E
C-89	25.00'	11°37'12"	5.07'	5.06'	N05°32'45"W
C-90	25.00'	78°27'47"	34.24'	31.62'	S50°35'14"E

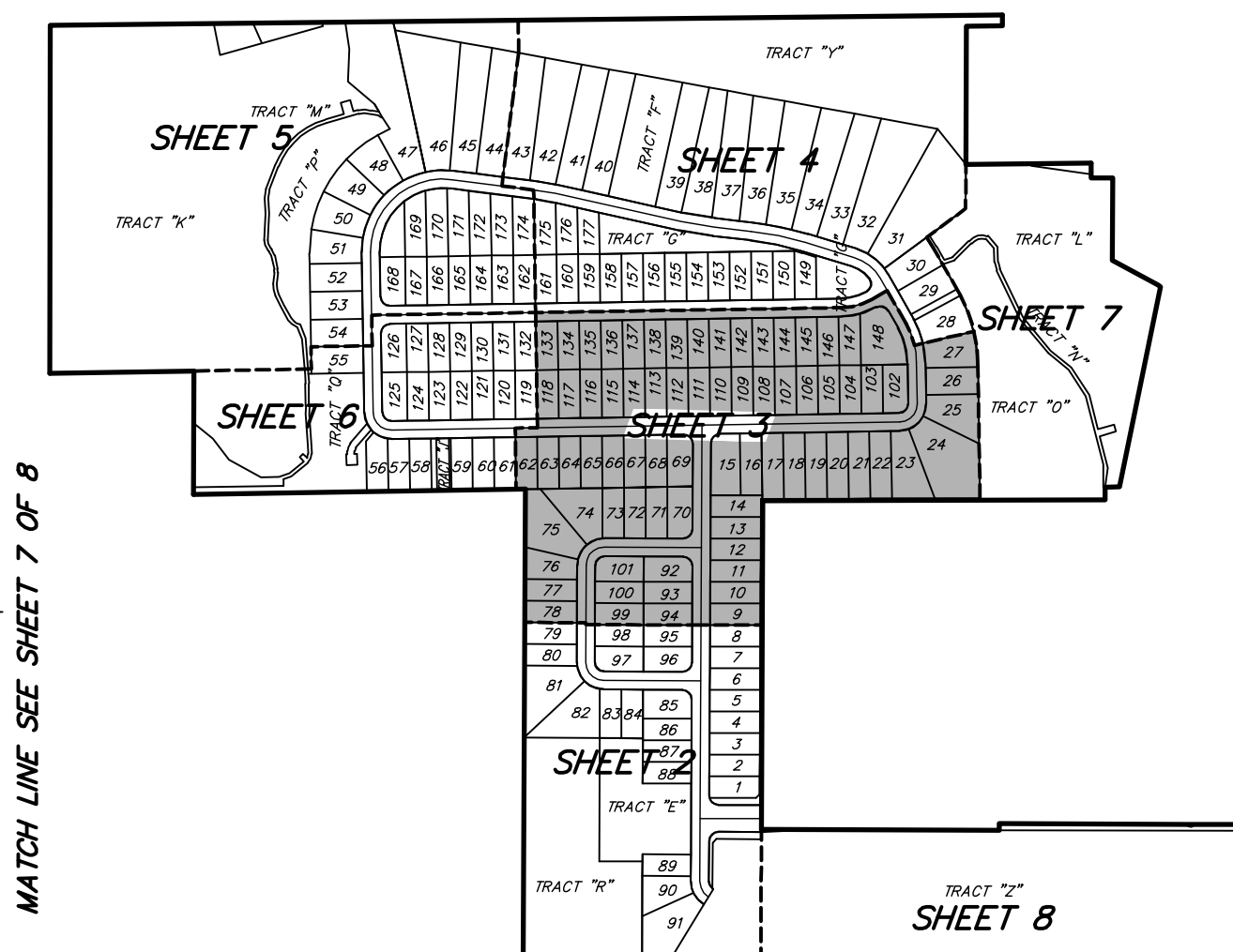


LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



SCALE 1"=60'



KEY MAP
NOT TO SCALE



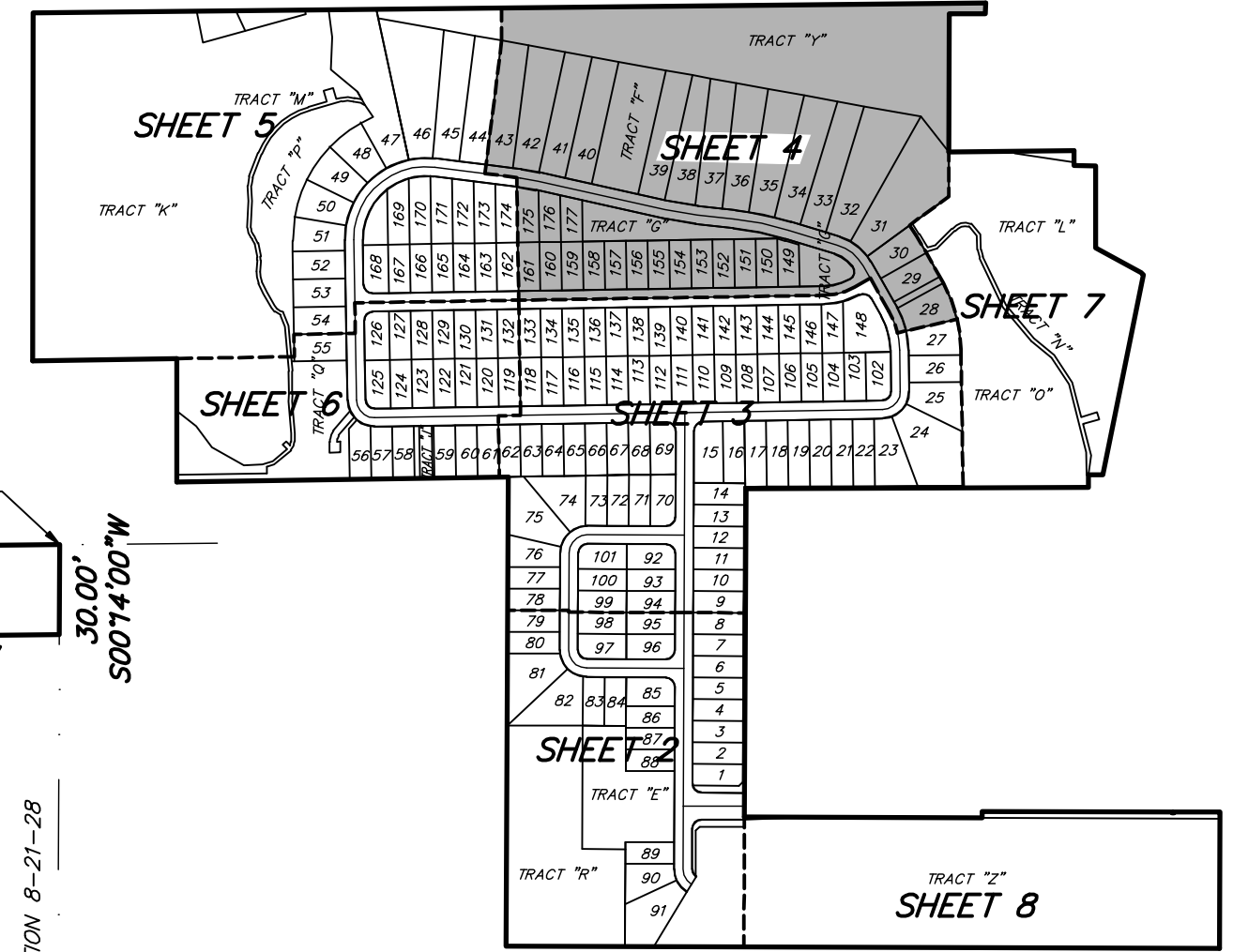
CURVE	RADIUS	DELTA	LENGTH	CHORD	CH. BEARING
C-7	125.00'	43°22'28"	94.63'	92.38'	N51°19'43"W
C-8	225.00'	28°44'14"	112.85'	111.67'	N15°16'23"W
C-9	50.00'	90°00'00"	78.54'	70.71'	N44°05'44"E
C-11	50.00'	90°00'00"	78.54'	70.71'	S45°15'51"W
C-12	175.00'	28°44'14"	87.77'	86.86'	N74°43'37"E
C-18	75.00'	90°00'00"	117.81'	106.07'	S45°15'51"W
C-19	25.00'	90°00'00"	39.27'	35.36'	S45°15'51"W
C-20	25.00'	91°10'07"	39.78'	35.71'	S45°19'12"E
C-27	250.00'	28°44'14"	125.39'	124.08'	N15°16'23"W
C-28	75.00'	90°00'00"	117.81'	106.07'	N44°05'44"E
C-29	25.00'	88°49'53"	38.76'	34.99'	N44°40'48"E
C-33	25.00'	90°00'00"	39.27'	35.36'	N44°05'44"E
C-34	25.00'	90°00'00"	39.27'	35.36'	S44°44'09"E
C-35	25.00'	90°00'00"	39.27'	35.36'	S44°05'44"W
C-38	200.00'	28°44'14"	100.23'	99.18'	N74°44'21"E
C-39	25.00'	89°58'32"	39.26'	35.35'	S74°37'45"E
C-40	200.00'	28°44'14"	100.31'	99.26'	S15°16'23"E
C-57	75.00'	12°39'59"	16.58'	16.55'	S06°35'51"W
C-58	75.00'	37°11'17"	48.68'	47.83'	S31°11'25"W
C-59	75.00'	36°20'03"	47.56'	46.77'	S68°17'09"W
C-60	75.00'	3°48'41"	4.99'	4.99'	S88°21'31"W
C-84	250.00'	15°33'17"	67.87'	67.66'	N20°53'04"W
C-85	250.00'	12°12'10"	53.24'	53.14'	N07°00'21"W
C-86	75.00'	27°44'05"	36.30'	35.95'	N12°57'42"E
C-87	75.00'	42°20'39"	55.43'	54.18'	N48°00'09"E
C-88	75.00'	19°55'16"	26.08'	25.96'	N79°02'06"E
C-91	200.00'	14°50'36"	51.81'	51.67'	N81°40'27"E
C-92	200.00'	13°52'10"	48.41'	48.30'	N67°19'04"E
C-103	395.00'	15°33'17"	107.23'	106.91'	N20°53'04"W
C-104	395.00'	12°12'10"	84.13'	83.97'	S07°00'21"E
C-121	395.00'	27°45'27"	191.36'	189.50'	N14°46'59"W

LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



SCALE 1"=60'



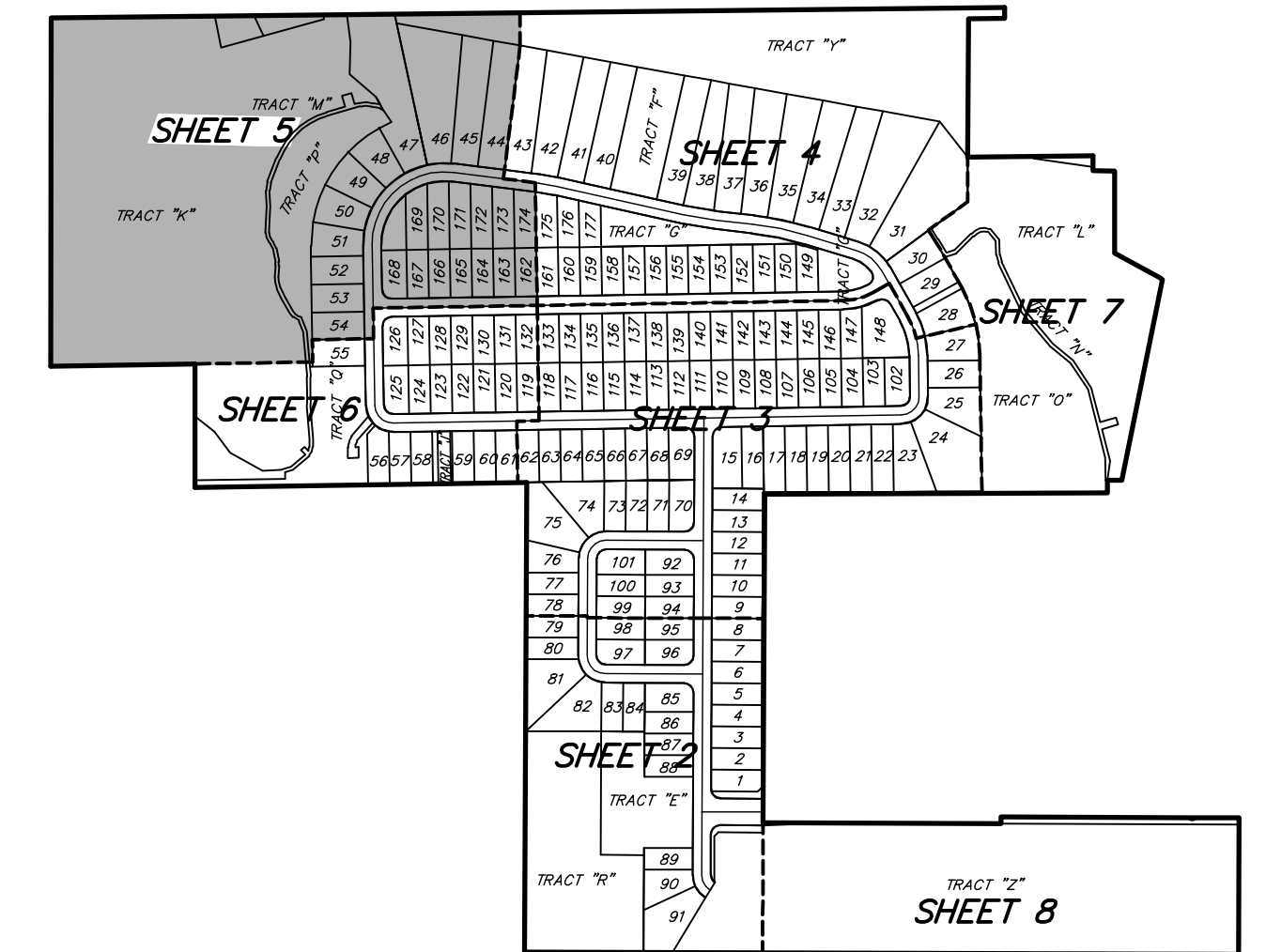
KEY MAP
NOT TO SCALE



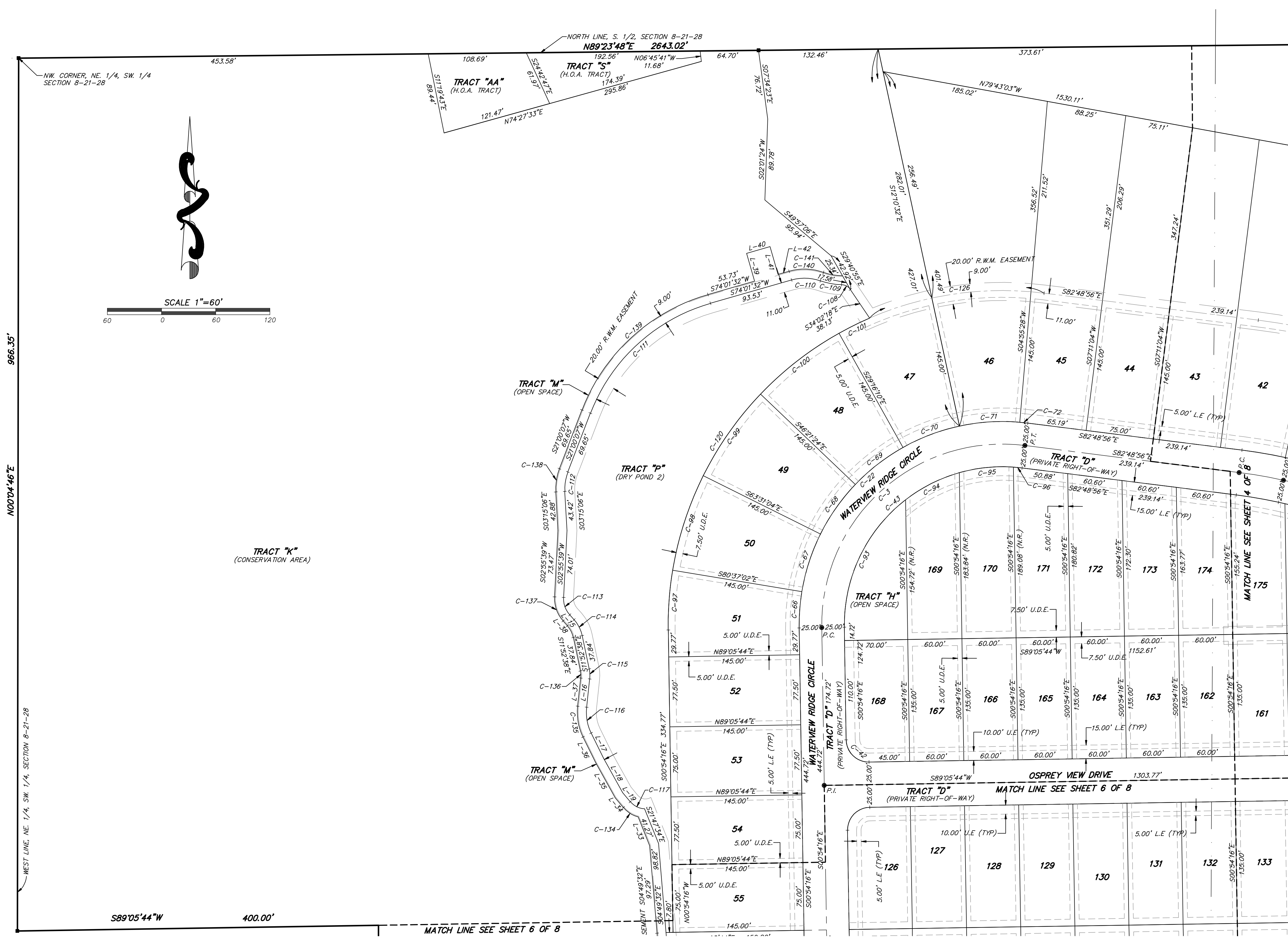
CURVE	RADIUS	DELTA	LENGTH	CHORD	CH. BEARING
C-4	525.00'	57°26'13"	49.82'	49.82'	N80°05'49"W
C-5	825.00'	67°16'01"	90.24'	90.19'	S80°30'43"E
C-6	830.00'	10°37'46"	153.98'	153.76'	N78°19'50"W
C-7	125.00'	43°22'28"	94.63'	92.38'	N51°19'43"E
C-8	225.00'	28°44'14"	112.85'	111.67'	N15°16'23"W
C-12	175.00'	28°44'14"	87.77'	86.86'	N74°43'37"E
C-23	550.00'	5°26'13"	52.19'	52.17'	N80°05'49"W
C-24	800.00'	67°16'01"	87.50'	87.46'	S80°30'43"E
C-25	855.00'	10°37'46"	158.62'	158.39'	N78°19'50"W
C-26	150.00'	43°22'28"	113.55'	110.86'	N51°19'43"E
C-27	250.00'	28°44'14"	125.39'	124.08'	N15°16'23"W
C-41	150.00'	28°20'34"	74.20'	73.45'	S74°55'27"W
C-44	500.00'	5°26'13"	47.45'	47.43'	S80°05'49"E
C-45	850.00'	67°16'01"	92.97'	92.93'	S80°30'43"E
C-46	805.00'	10°37'46"	149.34'	149.13'	S78°19'50"E
C-47	100.00'	35°11'22"	61.42'	60.46'	S55°25'16"E
C-48	25.00'	98°34'46"	43.01'	37.90'	S11°27'47"W
C-73	550.00'	5°04'55"	48.78'	48.77'	N80°16'28"W
C-74	550.00'	0°21'18"	3.41'	3.41'	N77°33'22"W
C-75	800.00'	5°42'53"	79.79'	79.76'	N80°14'09"W
C-76	800.00'	0°33'08"	7.71'	7.71'	N83°22'10"W
C-77	855.00'	2°34'16"	38.32'	38.36'	N82°21'56"W
C-78	855.00'	4°52'52"	72.84'	72.82'	N78°38'02"W
C-79	855.00'	3°10'39"	47.42'	47.41'	N74°36'17"W
C-80	150.00'	12°21'33"	32.36'	32.29'	N66°50'11"W
C-81	150.00'	24°16'17"	63.54'	63.07'	N48°31'15"W
C-82	150.00'	6°44'37"	17.86'	17.84'	N33°00'48"W
C-83	1250.00'	0°54'47"	4.28'	4.27'	N78°19'50"W
C-84	250.00'	15°31'17"	67.87'	67.66'	N20°53'04"W
C-102	295.00'	6°44'37"	34.72'	34.70'	S33°00'48"E
C-103	395.00'	15°33'17"	107.23'	106.91'	S20°53'04"E
C-105	800.00'	1°28'02"	20.48'	20.48'	S73°44'58"E
C-125	695.00'	5°26'13"	65.95'	65.93'	N80°05'49"W
C-127	655.00'	67°16'01"	71.64'	71.61'	S80°30'43"E
C-128	1000.00'	10°37'46"	185.52'	185.26'	N78°19'50"W
C-129	295.00'	36°32'50"	188.60'	185.41'	N54°42'02"W

LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



KEY MAP
NOT TO SCALE



LINE	BEARING	LENGTH
L-15	S41°58'07"E	7.12'
L-16	S06°14'28"W	31.43'
L-17	S26°08'58"E	31.14'
L-18	S29°04'42"E	43.65'
L-19	S39°49'23"E	13.10'
L-33	S214°21'54"E	34.11'
L-34	S39°49'23"E	14.04'
L-35	S29°04'42"E	44.85'
L-36	S26°08'58"E	31.39'
L-37	S06°14'28"W	31.43'
L-38	S41°58'07"E	7.12'
L-39	N15°58'29"W	32.00'
L-40	N74°01'32"E	22.00'
L-41	S15°58'29"E	32.00'
L-42	S74°01'32"W	12.81'

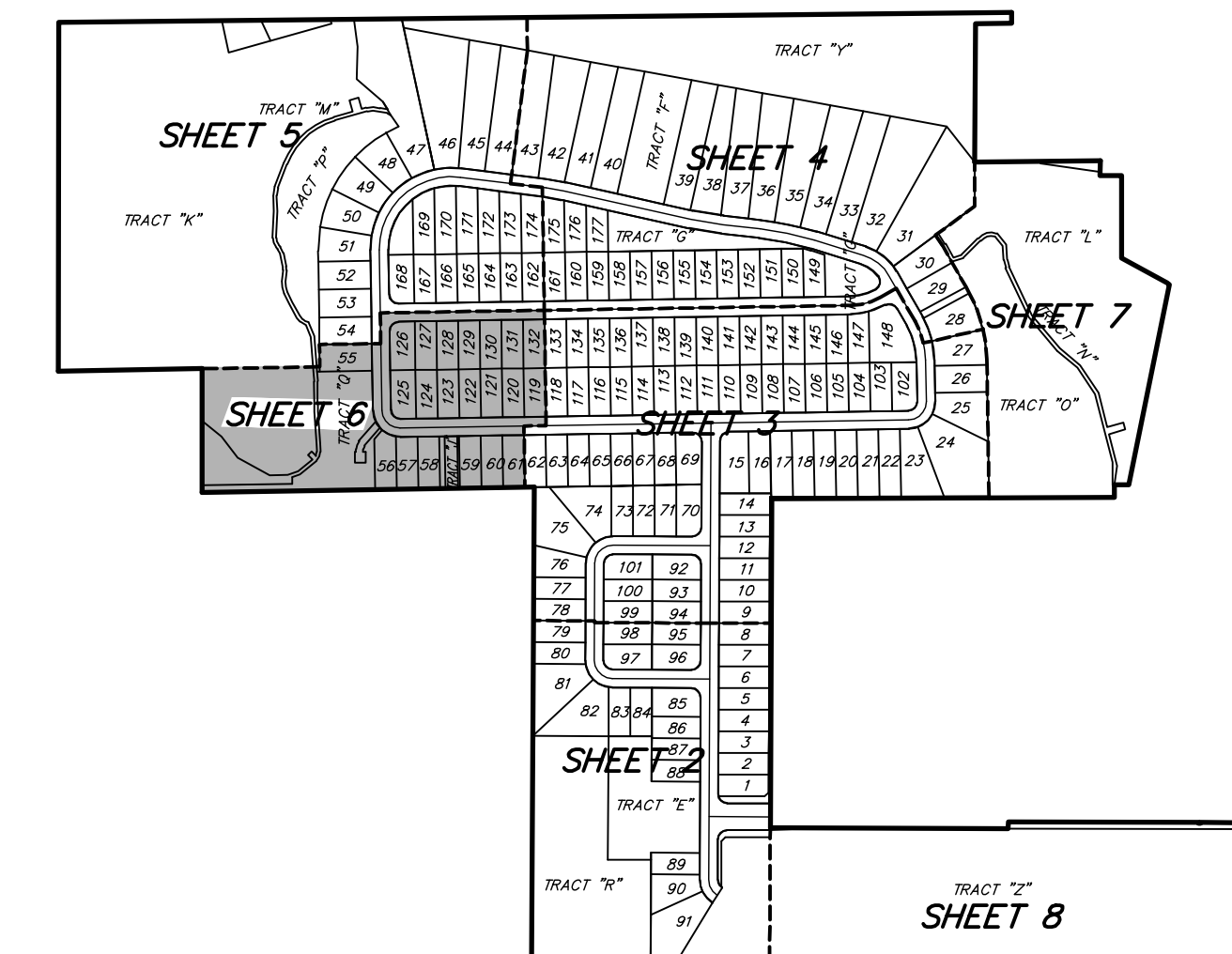
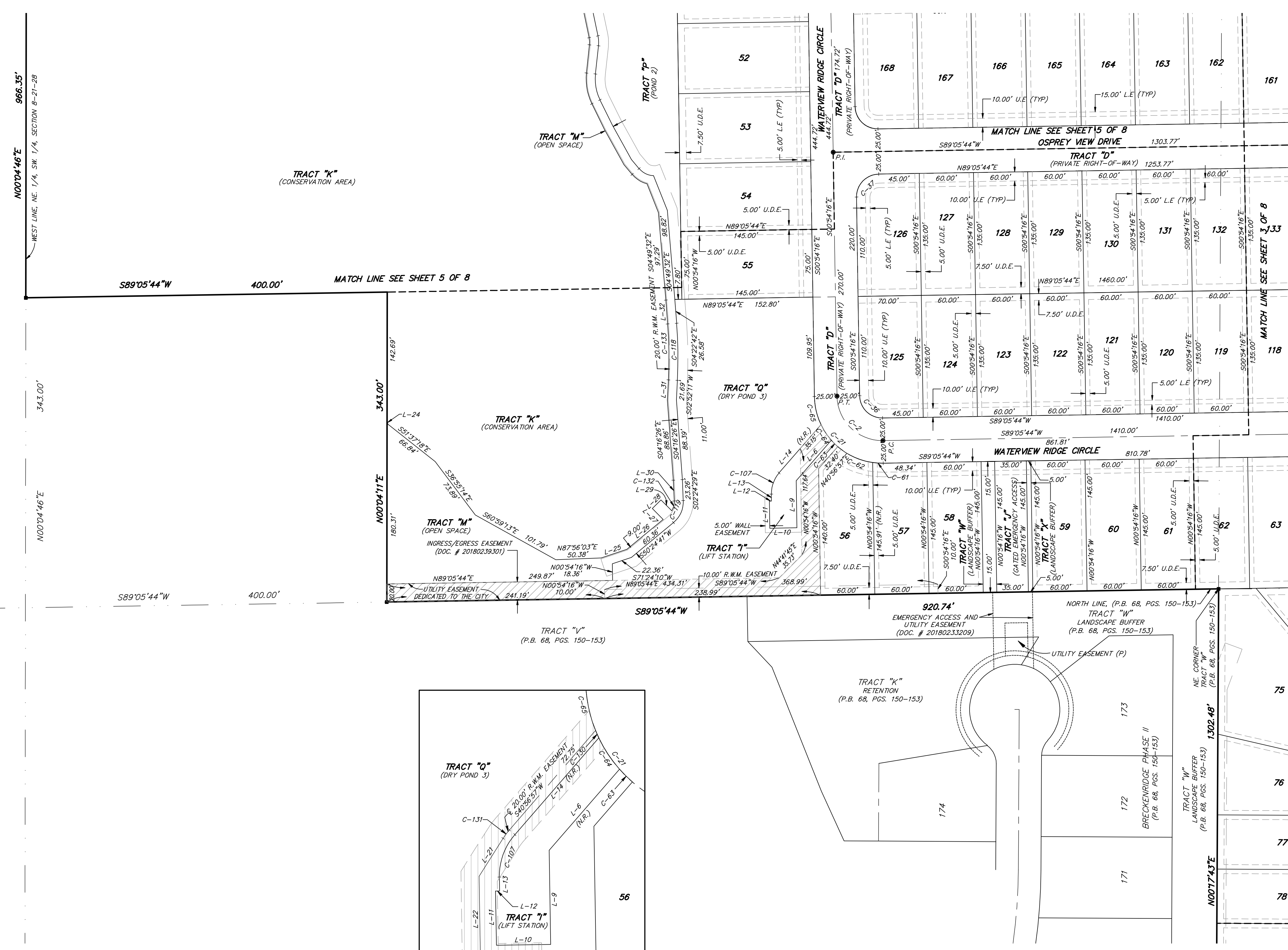
CURVE	RADIUS	DELTA	LENGTH	CHORD	CH. BEARING
C-3	200.00'	98°05'20"	342.39'	302.09'	S48°08'24"W
C-22	225.00'	98°05'20"	385.19'	339.85'	S48°08'24"W
C-42	25.00'	90°00'00"	39.27'	35.36'	N45°54'16"W
C-43	175.00'	98°05'20"	299.60'	264.33'	S48°08'24"W
C-66	225.00'	101°17'14"	40.40'	40.34'	S041°42'17"W
C-67	225.00'	17°05'58"	67.15'	66.90'	S17°55'57"W
C-68	225.00'	17°09'40"	67.39'	67.14'	S35°03'46"W
C-69	225.00'	17°05'14"	67.10'	66.85'	S52°11'13"W
C-70	225.00'	17°05'39"	67.13'	66.88'	S69°16'39"W
C-71	225.00'	17°06'00"	67.15'	66.90'	S86°22'28"W
C-72	225.00'	2°15'36"	8.88'	8.87'	N83°56'44"W
C-93	175.00'	5°30'48"	162.28'	156.52'	N25°39'58"E
C-94	175.00'	21°58'09"	67.10'	66.69'	N63°12'37"E
C-95	175.00'	19°49'04"	60.53'	60.23'	N84°06'14"E
C-96	175.00'	3°10'18"	9.69'	9.69'	S84°24'05"E
C-97	370.00'	10°17'14"	66.43'	66.34'	N04°14'21"E
C-98	370.00'	17°05'58"	110.42'	110.01'	N17°55'57"E
C-99	370.00'	17°09'40"	110.82'	110.41'	N35°03'46"E
C-100	370.00'	17°05'14"	110.34'	108.94'	N52°11'13"E
C-101	370.00'	5°51'51"	37.87'	37.85'	N63°39'45"E
C-108	12.00'	55°03'05"	11.53'	11.09'	N61°33'51"W
C-109	73.00'	18°46'59"	23.93'	23.82'	N79°41'54"W
C-110	52.00'	35°40'03"	32.37'	31.85'	N88°08'26"W
C-111	202.00'	5°30'25"	186.94'	180.34'	S47°30'49"W
C-112	52.00'	24°15'13"	22.01'	21.85'	S08°52'30"W
C-113	21.00'	44°53'46"	19.54'	19.51'	S18°31'47"E
C-114	38.00'	30°05'28"	19.96'	19.73'	S26°55'22"E
C-115	35.00'	18°07'06"	11.07'	11.02'	S02°49'05"E
C-116	52.00'	32°23'26"	29.40'	29.01'	S09°57'15"E
C-117	22.00'	47°45'29"	18.34'	17.81'	S63°42'07"E
C-120	370.00'	67°29'56"	435.89'	411.12'	S32°30'42"W
C-126	370.00'	30°15'24"	192.54'	185.20'	S81°32'27"W
C-134	32.00'	35°29'47"	19.51'	19.51'	S57°34'16"E
C-135	62.00'	32°23'26"	35.05'	34.59'	S09°57'15"E
C-136	25.00'	18°07'06"	7.91'	7.87'	N02°49'05"W
C-137	37.00'	44°53'46"	28.99'	28.26'	S19°31'14"E
C-138	62.00'	24°15'13"	26.25'	26.05'	S08°52'30"W
C-139	212.00'	5°30'25"	196.19'	189.27'	S47°30'49"W
C-140	62.00'	35°40'03"	38.50'	37.89'	N88°08'26"W
C-141	63.00'	19°35'32"	21.54'	21.44'	S80°06'11"E

LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



SCALE 1"=60'

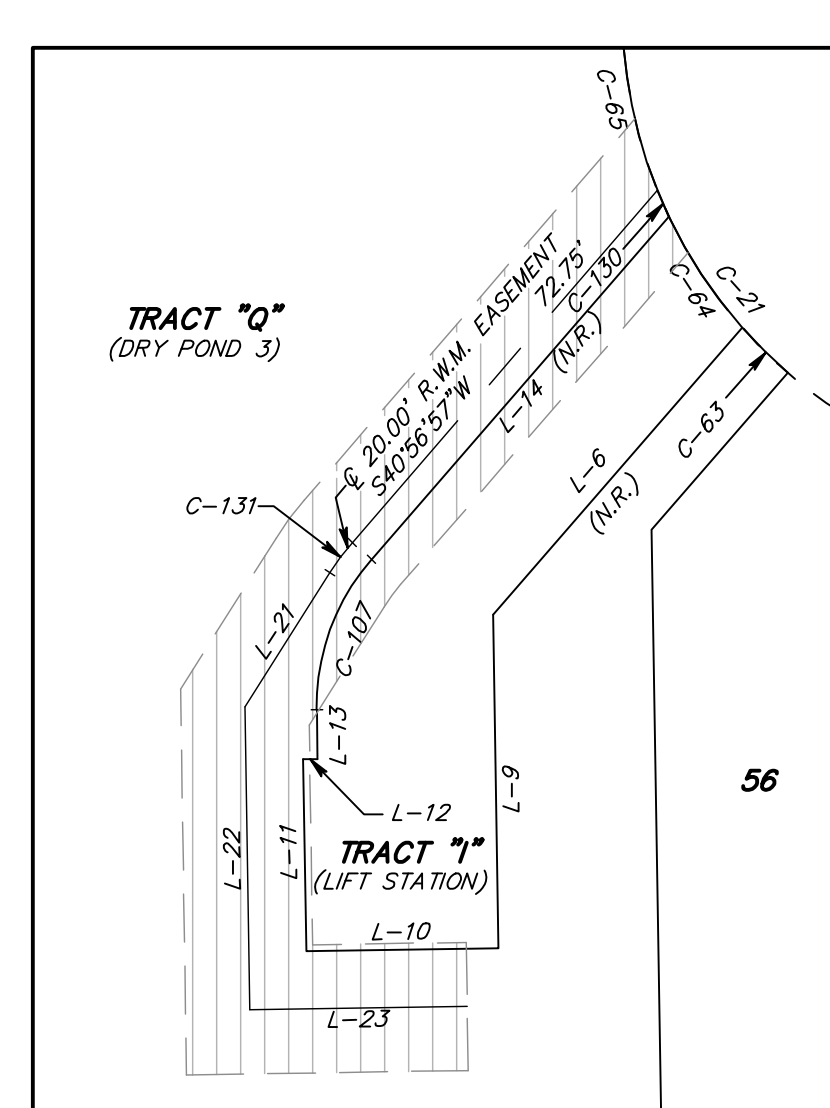


LINE TABLE

LINE	BEARING	LENGTH
L-6	S40°56'57"W	59.38'
L-7	NOT USED	
L-8	NOT USED	
L-9	S00°54'16"E	52.08'
L-10	S89°05'44"W	30.00'
L-11	N00°54'16"W	30.00'
L-12	N89°05'44"E	2.24'
L-13	N00°54'16"W	7.68'
L-14	N40°56'57"E	70.86'
L-21	N32°22'04"E	24.85'
L-22	N00°54'16"W	47.30'
L-23	S89°05'44"W	34.00'
L-24	S15°12'09"E	3.57'
L-25	S71°24'10"W	30.05'
L-26	S50°24'41"W	52.00'
L-27	N44°54'41"W	16.99'
L-28	N45°05'19"E	13.50'
L-29	S44°54'41"E	17.00'
L-30	S02°24'29"E	23.10'
L-31	S02°52'11"W	22.31'
L-32	S04°22'42"E	26.54'

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD	CH. BEARING
C-2	50.00'	90°00'00"	78.54'	70.71'	S45°54'16"E
C-21	75.00'	90°00'00"	112.81'	106.07'	S45°54'16"E
C-36	25.00'	90°00'00"	39.27'	35.36'	N45°54'16"W
C-37	25.00'	90°00'00"	39.27'	35.36'	N44°05'44"E
C-61	75.00'	8°56'42"	11.71'	11.70'	S86°25'52"E
C-62	75.00'	32°54'26"	43.08'	42.49'	S65°30'16"E
C-63	75.00'	7°39'44"	10.03'	10.02'	S45°13'11"E
C-64	75.00'	15°54'57"	20.83'	20.77'	S33°25'50"E
C-65	75.00'	24°34'05"	39.16'	31.91'	S13°11'18"E
C-106		NOT USED			
C-107	35.00'	41°51'13"	25.57'	25.00'	N20°01'21"E
C-118	500.00'	7°14'53"	63.25'	63.21'	S00°45'16"E
C-119	30.00'	52°49'09"	27.66'	26.69'	S24°00'06"W
C-130	75.00'	3°22'46"	4.42'	4.42'	S21°46'58"E
C-131	39.00'	8°34'54"	5.84'	5.84'	S36°39'31"W
C-132	20.00'	32°31'51"	11.36'	11.20'	N15°51'27"E
C-133	490.00'	7°14'53"	61.99'	61.94'	N00°45'16"W



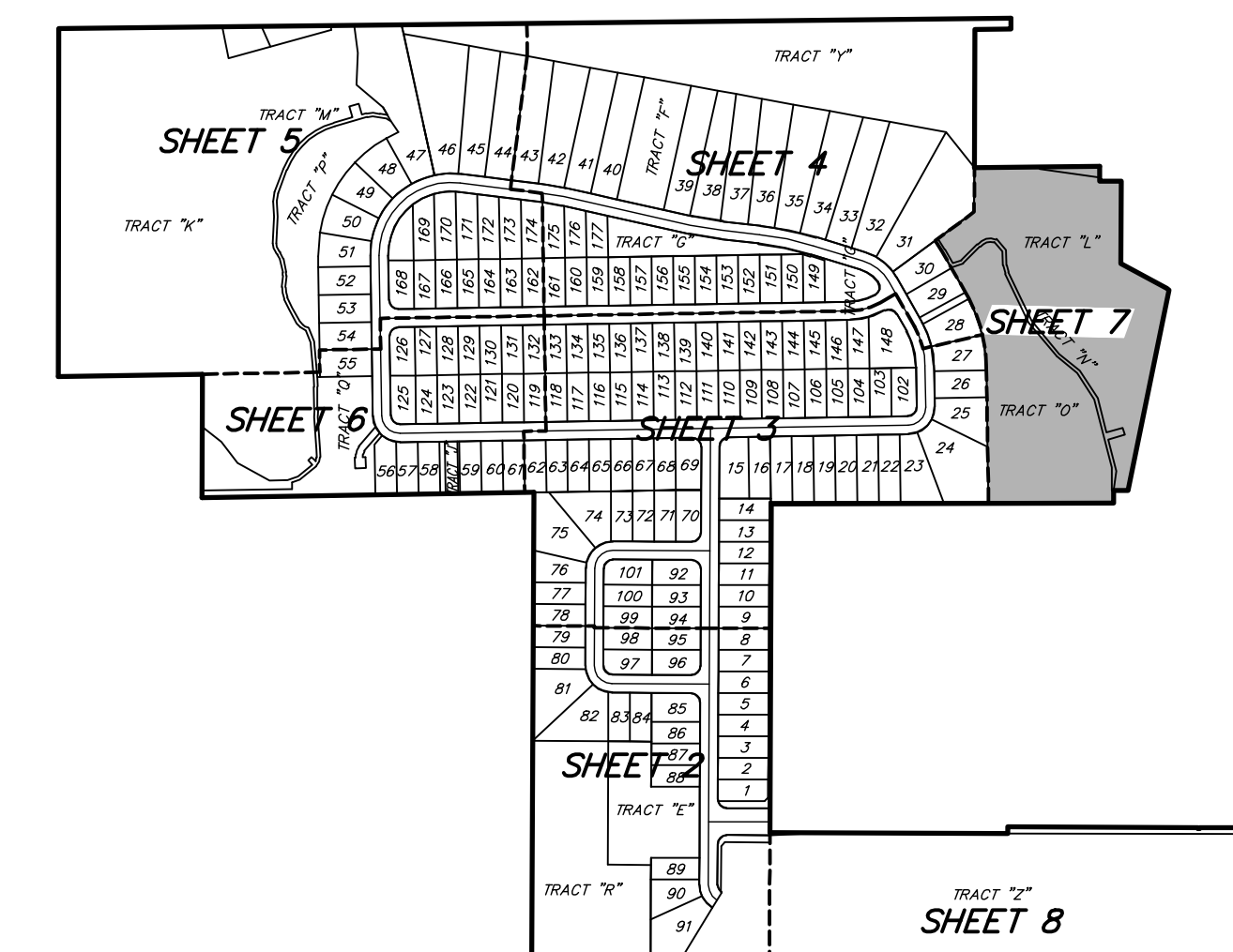
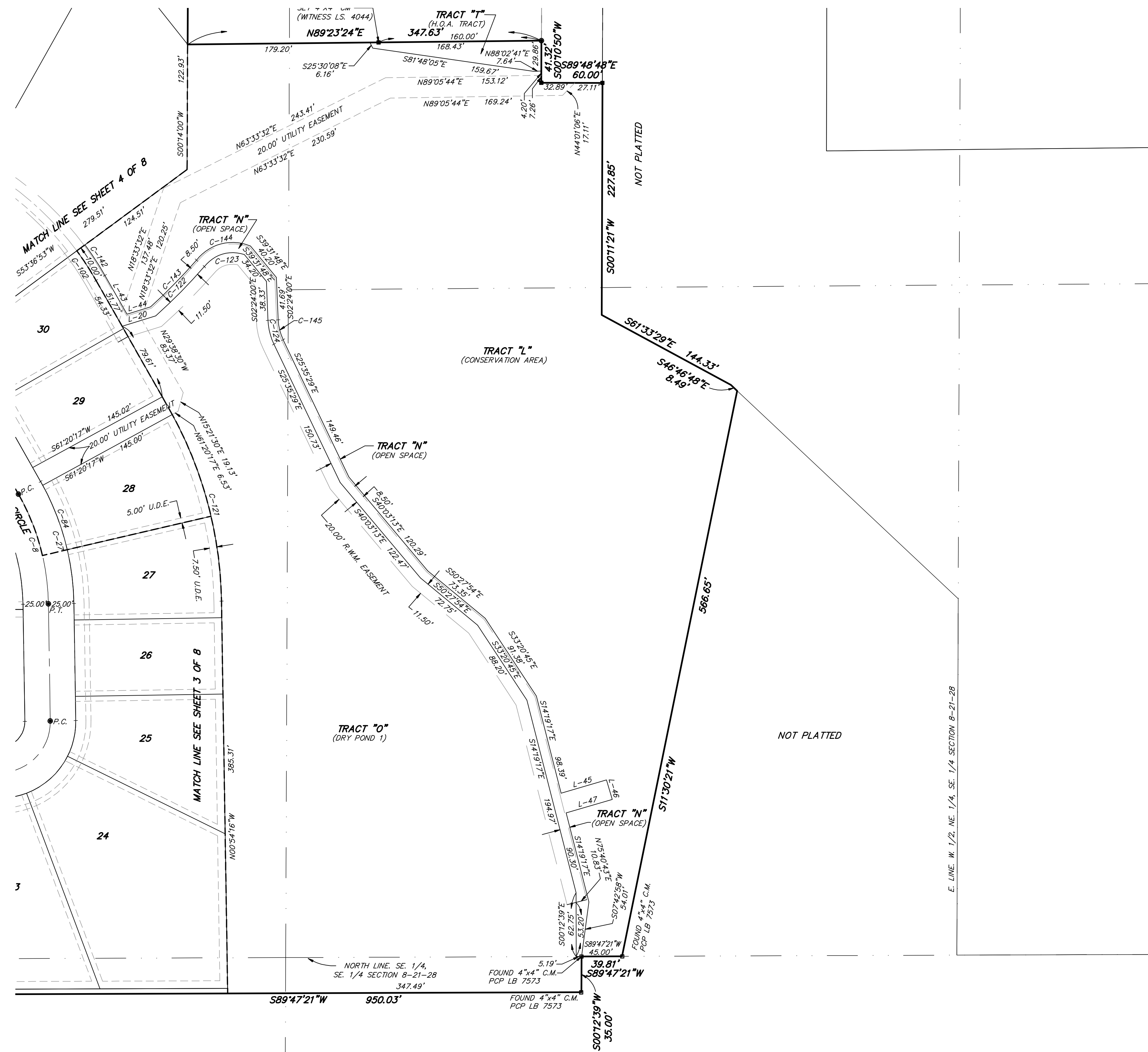
TRACT 'Q' AND TRACT 'O' DETAIL
(20.00' RETAINING WALL MAINTENANCE EASEMENT)
SCALE 1"=30'

LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



SCALE 1"=60'



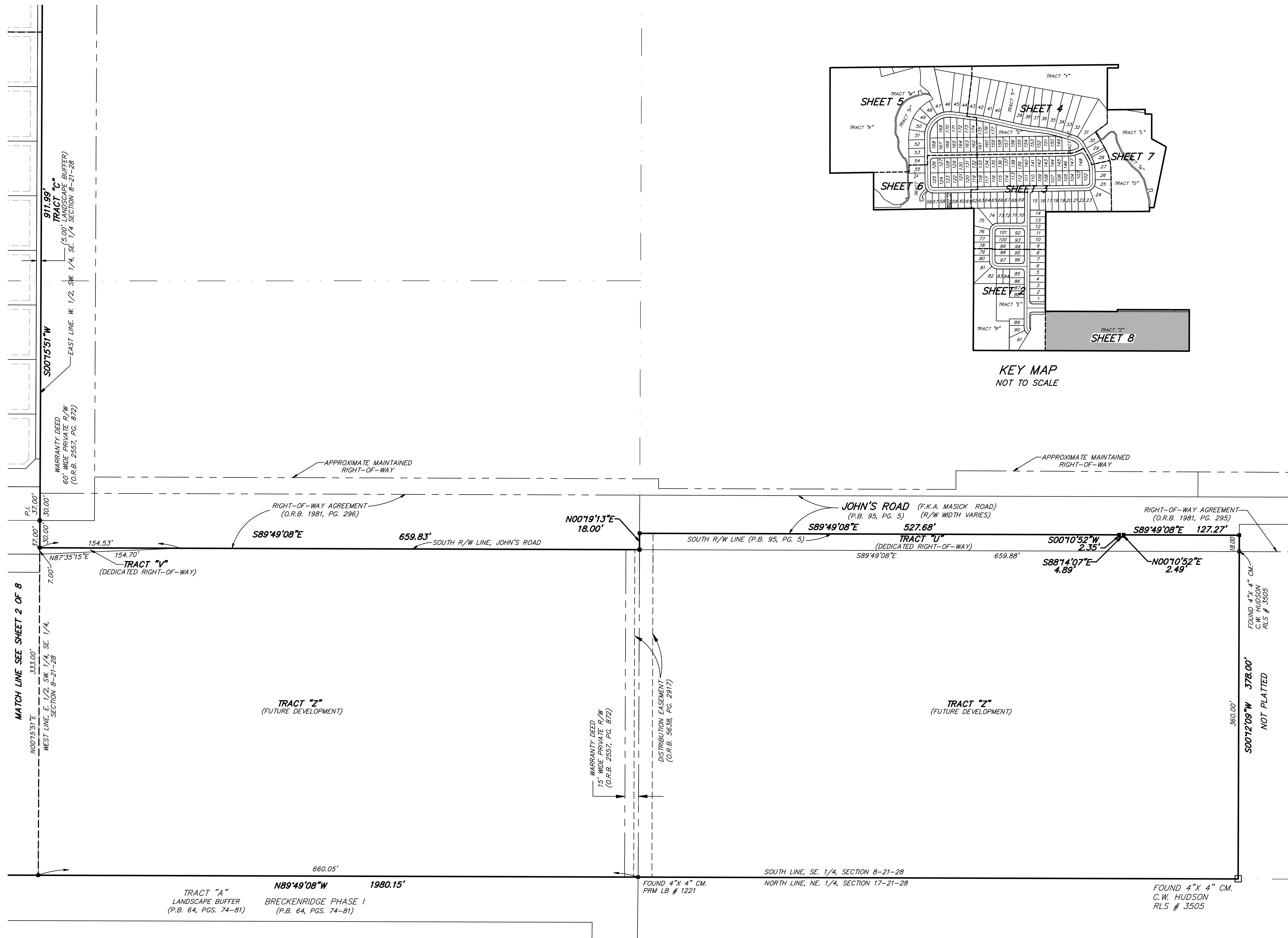
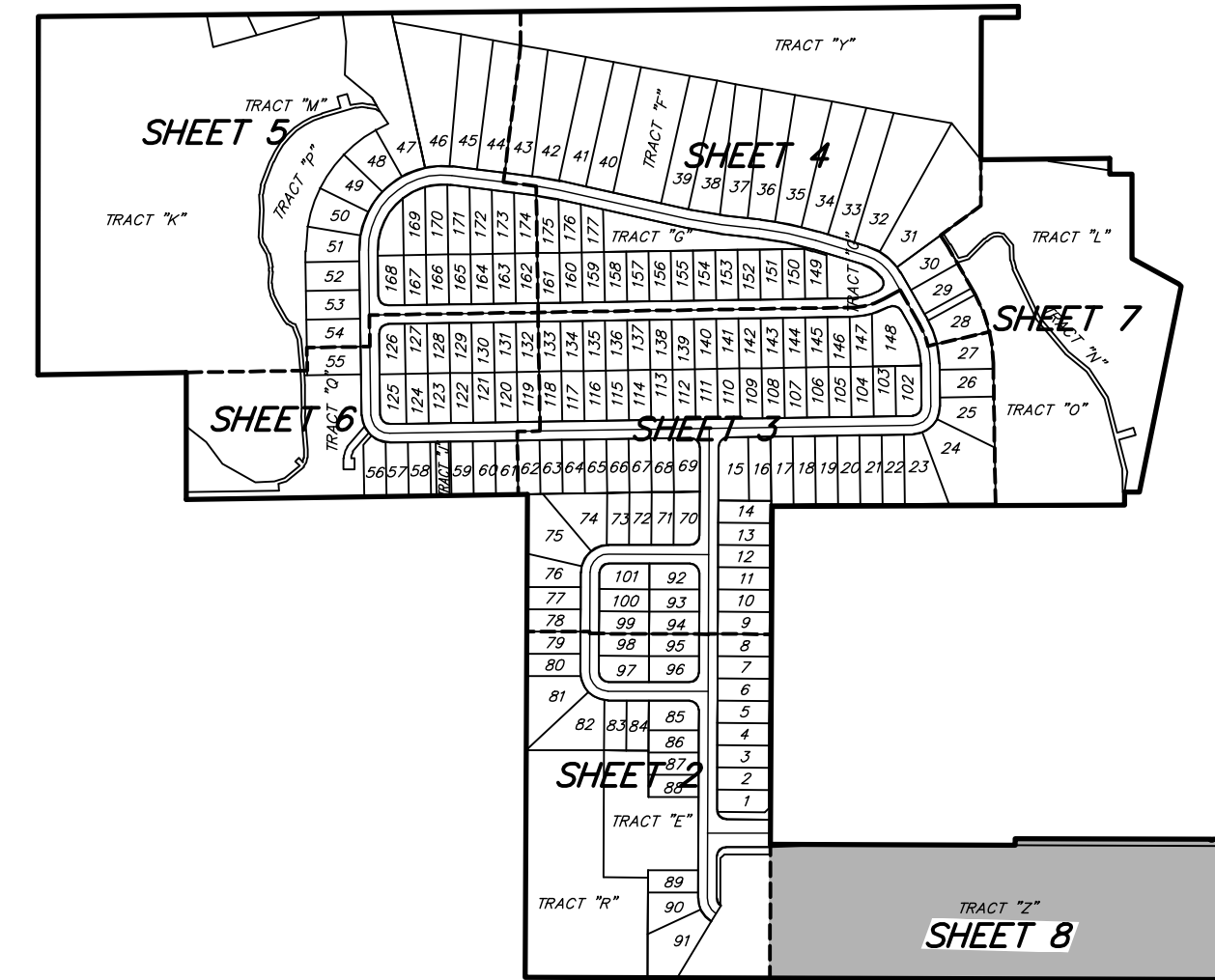
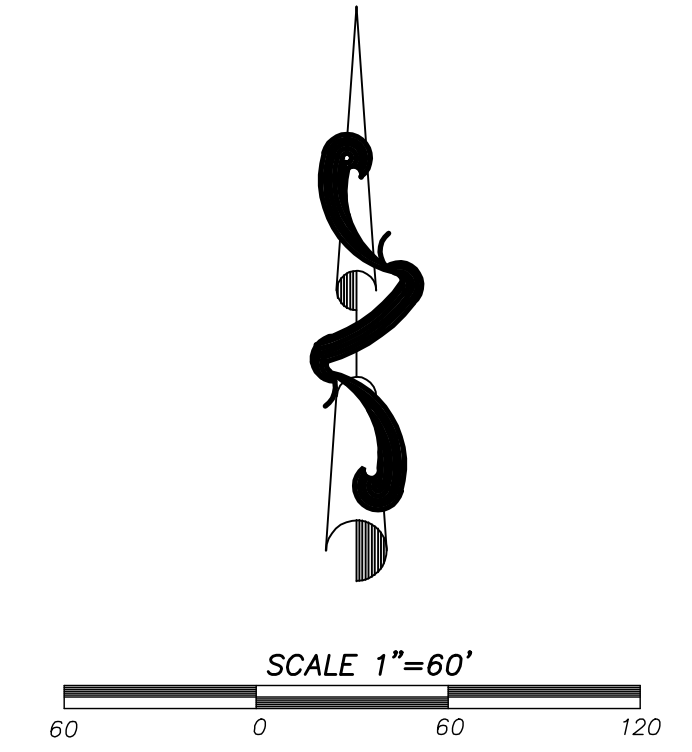
KEY MAP
NOT TO SCALE

LINE	BEARING	LENGTH
L-20	N72°46'25"E	34.49'
L-43	S29°38'30"E	43.73'
L-44	N72°46'25"E	24.25'
L-45	N73°46'52"E	46.40'
L-46	S16°20'58"E	20.00'
L-47	S73°46'52"W	47.11'

CURVE	RADIUS	DELTA	LENGTH	CHORD	CH. BEARING
C-102	295.00'	6°44'37"	34.72'	34.70'	N33°00'48"W
C-103	395.00'	15°33'17"	107.23'	106.91'	N20°53'04"W
C-121	395.00'	27°45'27"	191.36'	189.50'	N14°46'59"W
C-122	557.00'	7°00'06"	68.07'	68.02'	S44°37'57"W
C-123	35.00'	71°37'04"	43.75'	40.96'	S73°00'15"W
C-124	60.00'	2°31'29"	24.29'	24.12'	N13°59'45"W
C-142	305.00'	6°44'37"	35.90'	35.88'	N33°00'48"W
C-143	547.00'	6°44'25"	64.35'	64.31'	N44°32'07"E
C-144	45.00'	74°38'11"	58.88'	54.77'	S75°08'50"W
C-145	50.00'	2°31'29"	20.24'	20.10'	S13°59'45"E

LAKESIDE PHASE I

SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

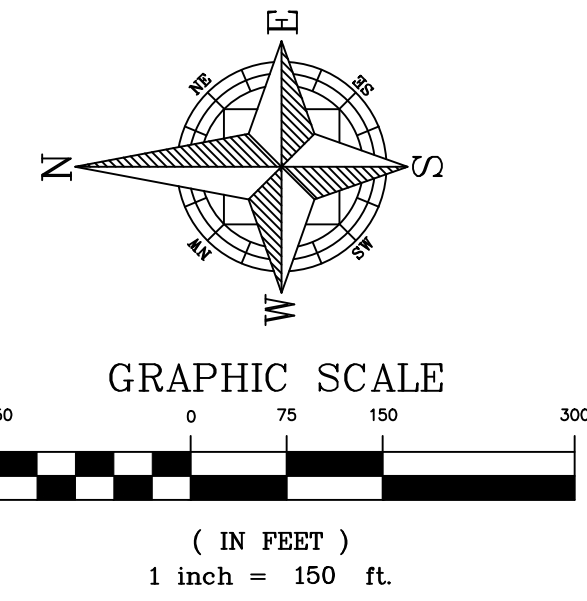
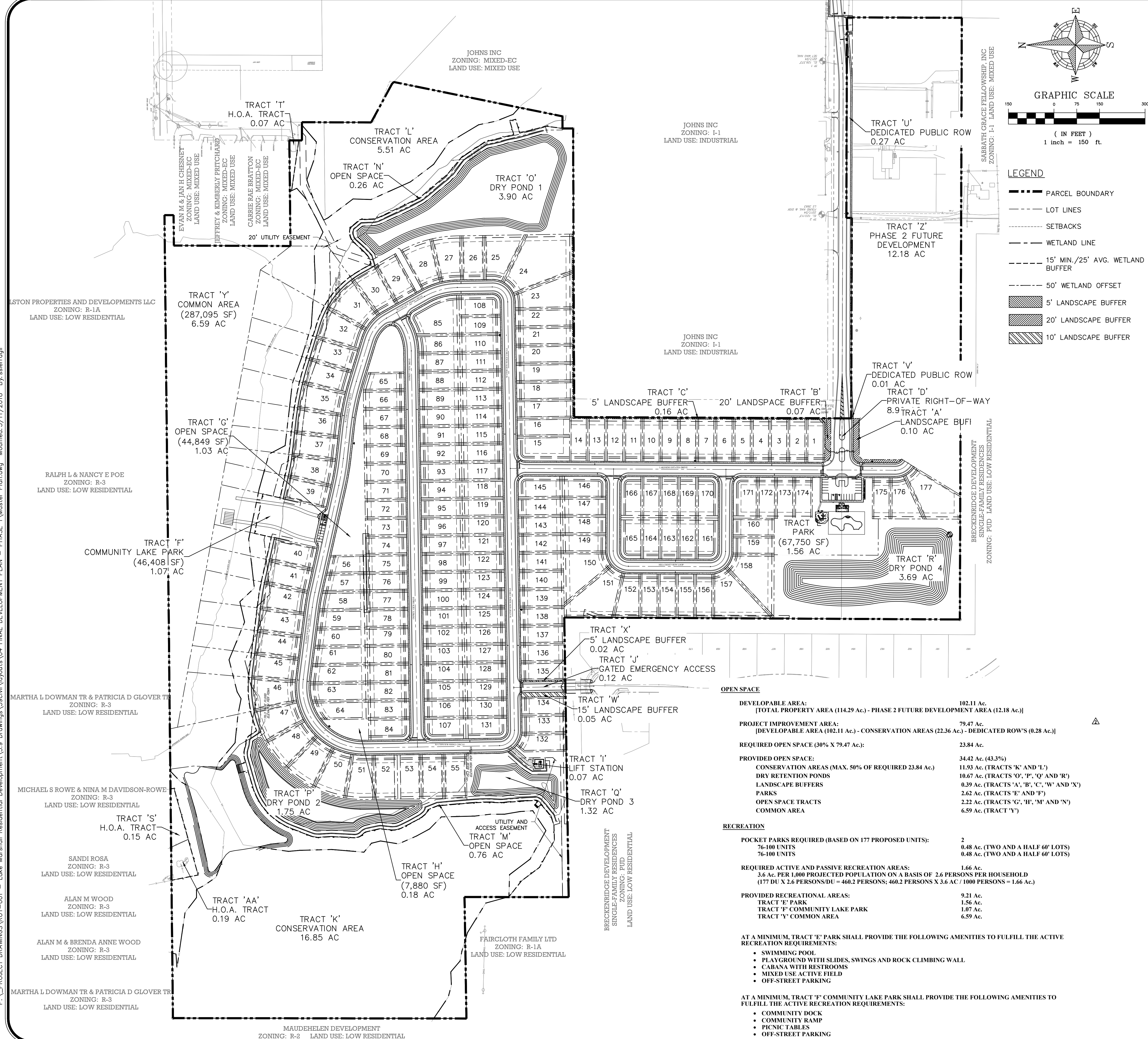


SURVEYING AND MAPPING, LLC

CERTIFICATE OF AUTHORIZATION NUMBER LB 7808

2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967

P:\PROJECT DRAWINGS\ROY-001 - Lake Marshall Residential Development\5.9 Drawings\Special\Layouts\04 FINAL DEVELOPMENT PLAN - PHASE 1\Waster_Plan.dwg Modified: 5/11/2018 By: sstierrog



LEGEND

- PARCEL BOUNDARY
- LOT LINES
- SETBACKS
- WETLAND LINE
- 15' MIN./25' AVG. WETLAND BUFFER
- 50' WETLAND OFFSET
- ▨ 5' LANDSCAPE BUFFER
- ▨ 20' LANDSCAPE BUFFER
- ▨ 10' LANDSCAPE BUFFER

SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-005	
PARCEL AREA:	103.11 Ac.	
PROJECT IMPROVEMENT AREA:	79.46 Ac. Δ	
FEMA FLOOD INSURANCE RATE MAP FLOOD ZONE:	X & AE (EL = 70.3)	
FIRM PANEL #12095C0120F DATED SEPT. 25, 2009		
FEMA FLOOD PRONE AREA (AREA BELOW BFE 70.3):	39.72 Ac.	
EXISTING WETLAND AREA:	21.09 Ac. Δ	
EXISTING WETLAND AREA TO REMAIN:	20.71 Ac.	
EXISTING WETLAND TO BE RESTORED:	0.38 Ac.	
PROPOSED DEDICATED CONSERVATION TRACTS:	22.36 Ac.	
WETLAND AREA TO REMAIN:	17.20 Ac.	
ADDITIONAL WETLAND TO BE RESTORED:	0.96 Ac.	
PROVIDED 15' MIN./25' AVG. WETLAND BUFFER:	4.20 Ac.	
PROPOSED CONSERVATION EASEMENT WITHIN LOTS:	5.49 Ac.	
WETLAND AREA TO REMAIN AS IS:	3.89 Ac.	
PROVIDED 15' MIN./25' AVG. WETLAND BUFFER:	1.60 Ac.	
EXISTING ZONING:	PUD	
PROPOSED ZONING:	PUD	
ADJACENT ZONING:		
NORTH	R-3	
SOUTH	PUD	
EAST	I-1, MIXED-EC	
WEST	PUD, R-2	
EXISTING FUTURE LAND USE (FLU):	LOW RESIDENTIAL	
ADJACENT FUTURE LAND USE:		
NORTH	LOW RESIDENTIAL	
SOUTH	LOW RESIDENTIAL	
EAST	INDUSTRIAL, MIXED USE	
WEST	LOW RESIDENTIAL	
PROPOSED MINIMUM LOT REQUIREMENTS:		
	60' LOTS	75' LOTS
MINIMUM LOT AREA	8,100 SF (*)	10,875 SF
MINIMUM LOT WIDTH	60 ft.	75 ft.
MINIMUM LOT DEPTH	135 ft. (*)	145 ft.
MAXIMUM BUILDING HEIGHT	35 ft.	35 ft.
SETBACKS		
FRONT YARD	25 ft.	25 ft.
SIDE YARD	5 ft.	7.5 ft.
REAR YARD	20 ft.	20 ft.
CORNER SIDE YARD	15 ft.	N/A

(*) LOTS 56, 57, AND 65 HAVE LOT AREAS OF 7,326 SF, 8,192 SF, AND 7,838 SF, RESPECTIVELY, AND MINIMUM LOT DEPTHS OF 114 LF, 129 LF, AND 122 LF, RESPECTIVELY (REFER TO SHEET C3.9 FOR LOT SIZING AND SETBACK DETAILS).

SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-043
PARCEL AREA:	11.18 Ac.
AREA DEDICATED TO PUBLIC RIGHT-OF-WAY:	0.28 Ac.
EXISTING ZONING:	MIXED-EC
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH	I-1
SOUTH	PUD, I-1
EAST	I-1
WEST	PUD
EXISTING FUTURE LAND USE (FLU):	MIXED USE
ADJACENT FUTURE LAND USE:	
NORTH	INDUSTRIAL
SOUTH	LOW RESIDENTIAL, MIXED USE
EAST	MIXED USE
WEST	LOW RESIDENTIAL
PROPOSED MINIMUM LOT REQUIREMENTS:	NO LOTS PROPOSED IN THIS PHASE

OVERALL SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-005
	28-21-08-0000-00-043
TOTAL PROPERTY AREA:	114.29 Ac.
PROJECT IMPROVEMENT AREA:	79.47 Ac. Δ
DEDICATED PUBLIC RIGHT-OF-WAY AREA:	0.28 Ac.
CONSERVATION AREA:	22.36 Ac. Δ
PHASE 2 FUTURE DEVELOPMENT AREA:	12.18 Ac.

OPEN SPACE

DEVELOPABLE AREA:	102.11 Ac.
[TOTAL PROPERTY AREA (114.29 Ac.) - PHASE 2 FUTURE DEVELOPMENT AREA (12.18 Ac.)]	
PROJECT IMPROVEMENT AREA:	79.47 Ac. Δ
[DEVELOPABLE AREA (102.11 Ac.) - CONSERVATION AREAS (22.36 Ac.) - DEDICATED ROW'S (0.28 Ac.)]	
REQUIRED OPEN SPACE (30% X 79.47 Ac.):	23.84 Ac.
PROVIDED OPEN SPACE:	34.42 Ac. (43.3%)
CONSERVATION AREAS (MAX. 50% OF REQUIRED 23.84 Ac.)	11.93 Ac. (TRACTS 'K' AND 'L')
DRY RETENTION PONDS	10.67 Ac. (TRACTS 'O', 'P', 'Q' AND 'R')
LANDSCAPE BUFFERS	0.39 Ac. (TRACTS 'A', 'B', 'C', 'W' AND 'X')
PARKS	2.62 Ac. (TRACTS 'E' AND 'F')
OPEN SPACE TRACTS	2.22 Ac. (TRACTS 'G', 'H', 'M' AND 'N')
COMMON AREA	6.59 Ac. (TRACT 'Y')

RECREATION

POCKET PARKS REQUIRED (BASED ON 177 PROPOSED UNITS):	2
76-100 UNITS	0.48 Ac. (TWO AND A HALF 60' LOTS)
76-100 UNITS	0.48 Ac. (TWO AND A HALF 60' LOTS)
REQUIRED ACTIVE AND PASSIVE RECREATION AREAS:	1.66 Ac.
3.6 Ac. PER 1,000 PROJECTED POPULATION ON A BASIS OF 2.6 PERSONS PER HOUSEHOLD	
(177 DU X 2.6 PERSONS/DU = 460.2 PERSONS; 460.2 PERSONS X 3.6 AC / 1000 PERSONS = 1.66 Ac.)	
PROVIDED RECREATIONAL AREAS:	9.21 Ac.
TRACT 'E' PARK	1.56 Ac.
TRACT 'F' COMMUNITY LAKE PARK	1.07 Ac.
TRACT 'Y' COMMON AREA	6.59 Ac.

AT A MINIMUM, TRACT 'E' PARK SHALL PROVIDE THE FOLLOWING AMENITIES TO FULFILL THE ACTIVE RECREATION REQUIREMENTS:

- SWIMMING POOL
- PLAYGROUND WITH SLIDES, SWINGS AND ROCK CLIMBING WALL
- CABANA WITH RESTROOMS
- MIXED USE ACTIVE FIELD
- OFF-STREET PARKING

AT A MINIMUM, TRACT 'F' COMMUNITY LAKE PARK SHALL PROVIDE THE FOLLOWING AMENITIES TO FULFILL THE ACTIVE RECREATION REQUIREMENTS:

- COMMUNITY DOCK
- COMMUNITY RAMP
- PICNIC TABLES
- OFF-STREET PARKING

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2221 Lee Road, Suite 17, Winter Park, Florida, 32789

STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION #1212

DATE: 12/17/2017

SCALE: 1" = 150'

PROJECT: ROY-001

SHEET: C.3.1

LAKESIDE (FKA LAKE MARSHALL SUBDIVISION) PHASE 1

CITY OF APOPKA, FLORIDA

5/15/18

